

PROPOSED MULTI DWELLING HOUSING

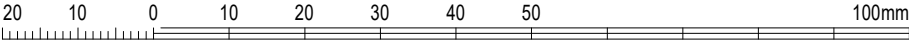
1 MCPHERSON AVENUE
PUNCHBOWL NSW 2196
LOT 2 DP536605



GENERAL NOTES
- Architectural plans to be read in conjunction with detailed survey plan prepared by a registered surveyor - All dimensions are in millimeters unless noted otherwise - Dimensions are taken from wall or brick face, not plaster, render or other finish face - Verify location of services on site prior to construction.
Materials: Floors: - Ground Floor reinforced concrete slab to engineer's details - First Floor reinforced concrete slab construction to engineer's details - Internal floor finishes to be selected Walls: - External walls on ground and first floor are generally 250mm brick veneer - Internal walls are generally 90mm timber stud Note: provide construction joints and articulation joints as required. Construction joints to engineer's details
Recycled Plantation Timbers: Use only suitable plantation timbers selected from timbers listed in local council specifications - Any timber framing to comply with AS 1684.
Termite Protection: Install physical barriers for termite protection to comply with the NCC and AS 3660.1 - 2014
Balustrades: Continuous balustrades or other barriers will be provided and installed in accordance with the requirements (including design and location) of Part 3.9 of the BCA – Housing Provisions. All treads, internal or external, or nosing's of a stairway to comply with slip-resistance classification of (AS 4586-2013 and Table 3.9.1.3 of the BCA).
Stairs: Stairway head height clearance – minimum 2000mm in accordance with current NCC
Pool & Fencing: Install pool fencing to comply with Swimming Pools Act 1992 and AS 1926 and the NCC. Pool fence to be no less than 1.2m high and be fitted with a latching device not readily openable by a young child and constructed to automatically close and latch. Swimming pool overflow to connect to sewer. Pool pump & filter in soundproof enclosure, enclosure to be 1m high.
Smoke Alarm: Install smoke alarm system to comply with NCC and AS 3786
Electrical All electrical works to comply with AS/NZS 3000
Landscaping: Refer to plan and details prepared by the Landscape Architect
Mechanical Ventilation: Provide mechanical ventilation where necessary to comply with the NCC
Windows: Windows to comply with AS 2047. Glazing to comply with the NCC and AS 1288. Restrictors to be fitted to all openable windows with a sill height less than 1.7m above adjacent ground level in accordance with the NCC
Tiles: Tiles to comply with AS 3958.1
Ramp: Ramp to comply with AS 2890.1
Reinforced Concrete Slabs, Footings, Lintels and Beams: To future structural engineer's details.
Stormwater: Stormwater and drainage identified on the architectural plans are indicative only. Refer to hydraulic plans for details. Guttering to comply with the NCC and AS 3500. Downpipe locations to comply with AS 3500. Install rainwater tank to BASIX specifications.

DEVELOPMENT DATA
CANTERBURY - BANKSTOWN LOCAL ENVIRONMENTAL PLAN 2023 CANTERBURY - BANKSTOWN DEVELOPMENT CONTROL PLAN 2023 LOT 2 SITE AREA: 1453.0m²
UNIT 1 PROPOSED GROUND FLOOR: 60.72m² PROPOSED FIRST FLOOR: 71.01m² PROPOSED TOTAL FLOOR AREA: 131.73m²
UNIT 2 PROPOSED GROUND FLOOR: 46.69m² PROPOSED FIRST FLOOR: 69.47m² PROPOSED TOTAL FLOOR AREA: 116.16m²
UNIT 3 PROPOSED GROUND FLOOR: 53.93m² PROPOSED FIRST FLOOR: 67.92m² PROPOSED TOTAL FLOOR AREA: 121.85m²
UNIT 4 PROPOSED GROUND FLOOR: 48.57m² PROPOSED FIRST FLOOR: 61.31m² PROPOSED TOTAL FLOOR AREA: 109.88m²
UNIT 5 PROPOSED GROUND FLOOR: 122.41m² PROPOSED ATTIC: 29.98m² PROPOSED TOTAL FLOOR AREA: 152.39m²
PROPOSED FLOOR AREA: PERMITTED MAX. FLOOR AREA: 726.5m² (FSR 0.5:1) PROPOSED TOTAL FLOOR AREA: 632.01m²
SETBACKS FRONT SETBACK: 6m REAR SETBACK: 3.33m SIDE SETBACK: 2.5m
BUILDING HEIGHT PERMITTED MAX. BUILDING HEIGHT: 8.5m - Complies
BASIX COMMITMENTS
/for details: See the Basix certificate No. 1759378M
Alternative water The applicant must install a rainwater tank of at least 2000 litres (For Each Unit) The rainwater tank to collect rain runoff from at least 30 m2 of the roof The applicant must connect the rainwater tank to: • all toilets in the development • at least one outdoor tap /per unit/ in the development
Fixtures (For Each Unit) • Shower heads 3 star (>7.5 but <= 9.0 L/min) • Toilets.....4 star • Kitchen tap.....5 star • Basin Taps.....5 star
Thermal Comfort-Simulation method /for details: see the Nathers certificate/ • A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs. • The dwelling design has been assessed with NatHERS software from an accredited assessor
Hot Water System: gas instantaneous with a performance of 6 stars (For Each Unit)
Heating/Cooling (For Each Unit): 1-phase air-conditioning; Energy rating: EER 2.5-3.0 (Zoned)
Ventilation • (Unit 2,5): Laundry: no mechanical ventilation (ie. natural); Operation control: n/a, Bathrooms & Kitchen (individual fan, ducted; Operation: manual on/off/interlocked to light with timer off) • (Unit 1,3): Bathrooms & Laundry: no mechanical ventilation (ie. natural); Operation control: n/a, Kitchen (individual fan, ducted; Operation: manual on/off) • (Unit 4): Bathrooms: no mechanical ventilation (ie. natural); Operation control: n/a, Laundry & Kitchen (individual fan, ducted; Operation: manual on/off/interlocked to light)
Natural lighting (Unit 1,3,4): Window in the Kitchen and 3 Bathrooms/Toilets Natural lighting (Unit 2): Window in 1 Bathrooms/Toilets Natural lighting (Unit 5): Window in the Kitchen and 2 Bathrooms/Toilets
Artificial lighting fluorescent or (LED)/ DEDICATED/: • (Unit 1,2,3,4,5) 2 in the Bedrooms/study
OTHER • The applicant must install a gas cook top & electric oven in the kitchen of each dwelling. • The applicant must install a fixed outdoor clothes drying line for each dwelling
Alternative energy (Unit 1) • The applicant must install a photovoltaic collectors with the capacity to generate at least 1 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north. The applicant must connect this system to the development's electrical system.
The Basix certificate should be read in conjunction with the Nathers certificate (including the additional notes pages 4 & 5)

BUILDING ELEMENTS
/For Details: see the Nathers certificate No. 0009679101, 0009679119, 0009679127, 0009679135 & 0009679143
Thermal Comfort-Simulation method <i>A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.</i> <i>The dwelling design has been assessed with NatHERS software from an accredited assessor</i>
External Walls • Timber Stud Frame Brick Veneer R2.50 Anti-glare foil with bulk no gap (Unit 1, Unit 2 and Unit 3 only) • Timber Stud Frame Brick Veneer R2.70 Anti-glare foil with bulk no gap (Unit 4 and Unit 5 only) • Fibro Timber Stud Frame Panel on Battens R2.70 Anti-glare foil with bulk no gap (Unit 5/Attic only)
Internal Wall • Timber Stud Frame, Direct Fix Plasterboard R 2.5 Bulk Insulation, No Air Gap (Against Garage) • Timber Stud Frame, Direct Fix Plasterboard R 2.7 Bulk Insulation, No Air Gap (Against Garage)/Unit 4 and Unit 5 only • Timber Stud Frame, Direct Fix Plasterboard No Insulation • Cavity brick, plasterboard No Insulation (Neighbouring wall)
External Floor • Concrete Slab on Ground • Suspended Floor-R2.5 (Open to Air) • Suspended Floor-R3.0 (Open to Air)/Unit 4 only
Internal Floor/Ceiling • Timber Framed Timber Above Plasterboard R 2.5 Bulk Insulation (Above Garage) • Timber Framed Timber Above Plasterboard R 3.0 Bulk Insulation (Above Garage)/Unit 4 only • Timber Framed Timber Above Plasterboard No Insulation
External Ceiling • Plasterboard on Timber R5.0 Bulk Insulation Unventilated roofspace
Roof • Corrugated Iron Bulk, Reflective Side Down, No Air Gap Above R 1.8 • Waterproofing Membrane No Insulation, Only an Air Gap
Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation
Note: All down lights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992, European IEC 60509:1989
Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda. Note-Ceiling fans: For the number and the location, see the Nathers certificate
The building fabric, including insulation and air cavity ventilation, must meet the requirements specified in Part H Energy Efficiency (Volume 2) of the NCC and the ABCB Housing Provisions 10.8 and 13.2. These standards are essential to ensure proper energy efficiency and compliance in construction practices.
For additional information please refer to the additional notes on the Nathers certificates.



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	J	14.02.25	REVISED DA							
	I	16.12.24	REVISED DA							
	H	06.09.24	BASIX & NATHERS CERTIFICATE							
	G	02.09.24	FLOOD FENCING							
	ISSUE	DATE	REVISION							

SEDIMENT RUN-OFF CONTROL
DURING EARTHWORKS:

EROSION & SEDIMENT CONTROL

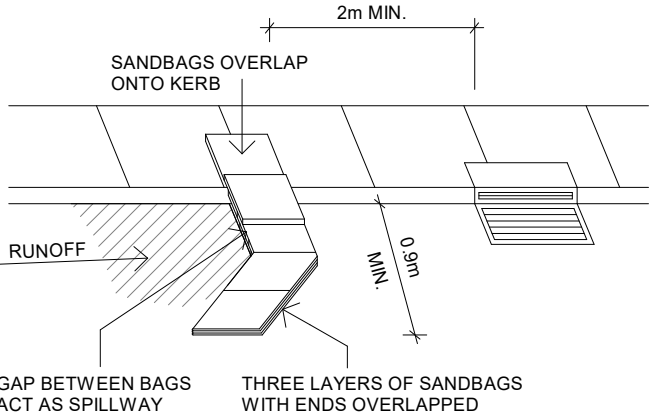
1. CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION ACROSS FRONT OF PROPERTY AND TO THE LOW AREAS OF ADJOINING SITES. TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
2. EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
3. SEDIMENT FENCING IS TO BE REMOVABLE ACROSS SITE ACCESS.
4. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
5. NO PARKING OR STOCKPIILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
6. TOPSOIL THAT IS REMOVED TO BE STRIPED AND STOCK PILED AT REAR OF SITE FOR RE-USE.
7. GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
8. CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

MAINTENANCE PROGRAM

1. SEDIMENT TRAPS AND FENCES TO BE CHECKED AND MAINTAINED ON A WEEKLY BASIS AT LEAST AND AFTER EVERY STORM EVENT TO ENSURE ADEQUATE OPERATION.
2. CONNECTION TO EXISTING DISCHARGE DRAINAGE SYSTEMS TO BE CARRIED OUT AT THE EARLY STAGES OF THE CONSTRUCTION.
3. MAINTAIN SITE ACCESS IN AN EFFECTIVE CONDITION THROUGH REMOVAL OF SEDIMENT AND/OR ADDITION OF EXTRA AGGREGATE ON DAILY BASIS.
4. WORK TO BE PHASED, TRUCK MOVEMENT MINIMISED ON DISTURBED AREAS AND GROUND SURFACE TO BE KEPT DAMP (NOT WET) TO LIMIT DUST EMISSIONS.
5. BINS TO BE EMPTIED ON A WEEKLY BASIS AS NECESSARY. WASTE TO BE DISPOSED OF IN AN APPROVED MANNER.
6. REPAIR AREAS OF EROSION AS REQUIRED.

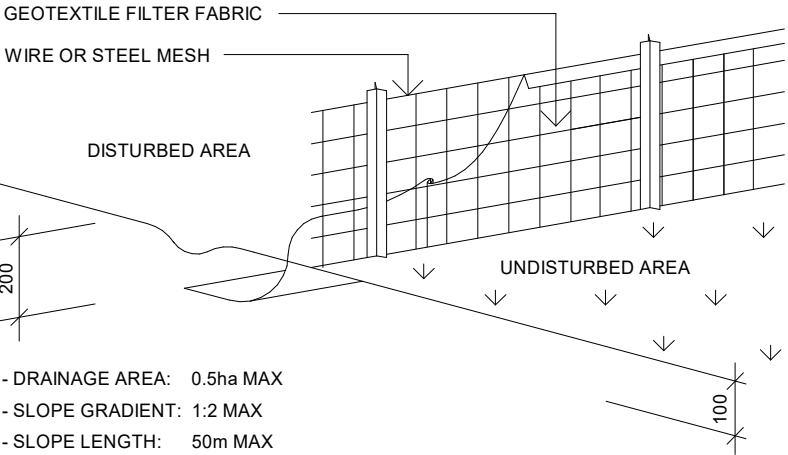
WASTE LEGEND:

- BRICK, TILE, CONCRETE DISPOSAL BIN 3m³
- TIMBER DISPOSAL BIN 3m³
- MIXED WASTE DISPOSAL BIN 3m³
- METALS DISPOSAL BIN 3m³



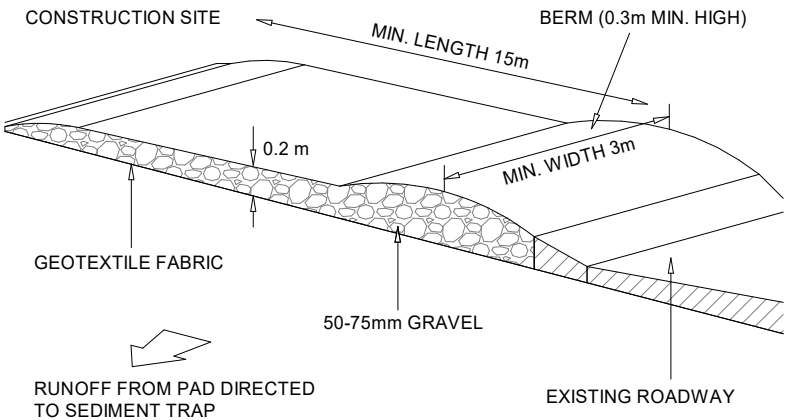
KERB INLET SEDIMENT TRAP

NTS



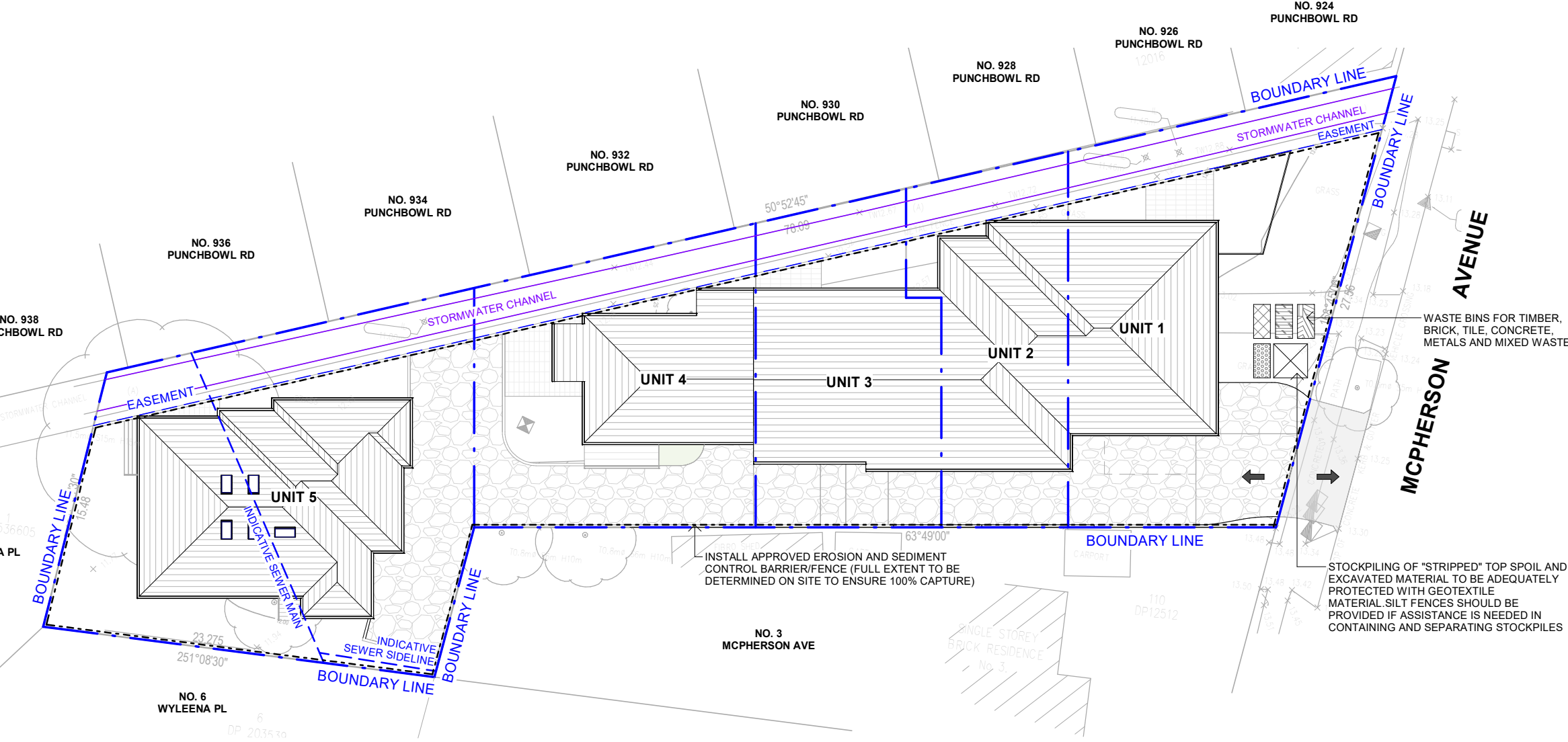
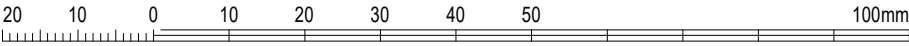
SILT FENCE DETAIL

NTS



TEMPORARY CONSTRUCTION EXIT

NTS



SEDIMENT & SOIL EROSION

1 : 300

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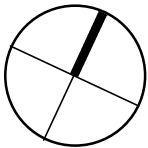
ISSUE	DATE	REVISION
E	05.07.24	DRAFT DA FOR REVIEW
D	04.07.24	DRAFT DA FOR REVIEW
C	20.06.24	DRAFT DA FOR REVIEW
B	17.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

designed



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client: BASSIM OMAR

project:
PROPOSED MULTI DWELLING
HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:
SEDIMENT & SOIL
EROSION PLAN

print date: 05.07.24

drawn: AD

checked: CH

scale: As indicated @A3

DA ISSUE

job

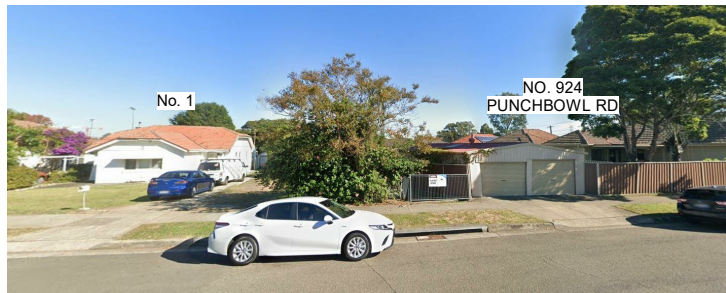
RG24.17

drawing

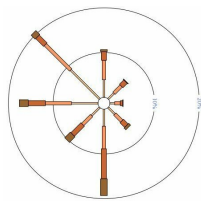
issue

E

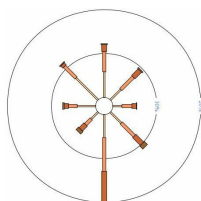
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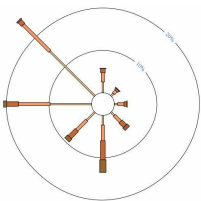
WIND ROSE ANALYSIS (NEAREST STATION)



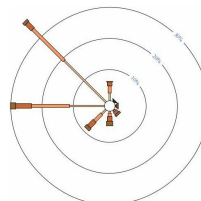
SPRING SYDNEY WIND



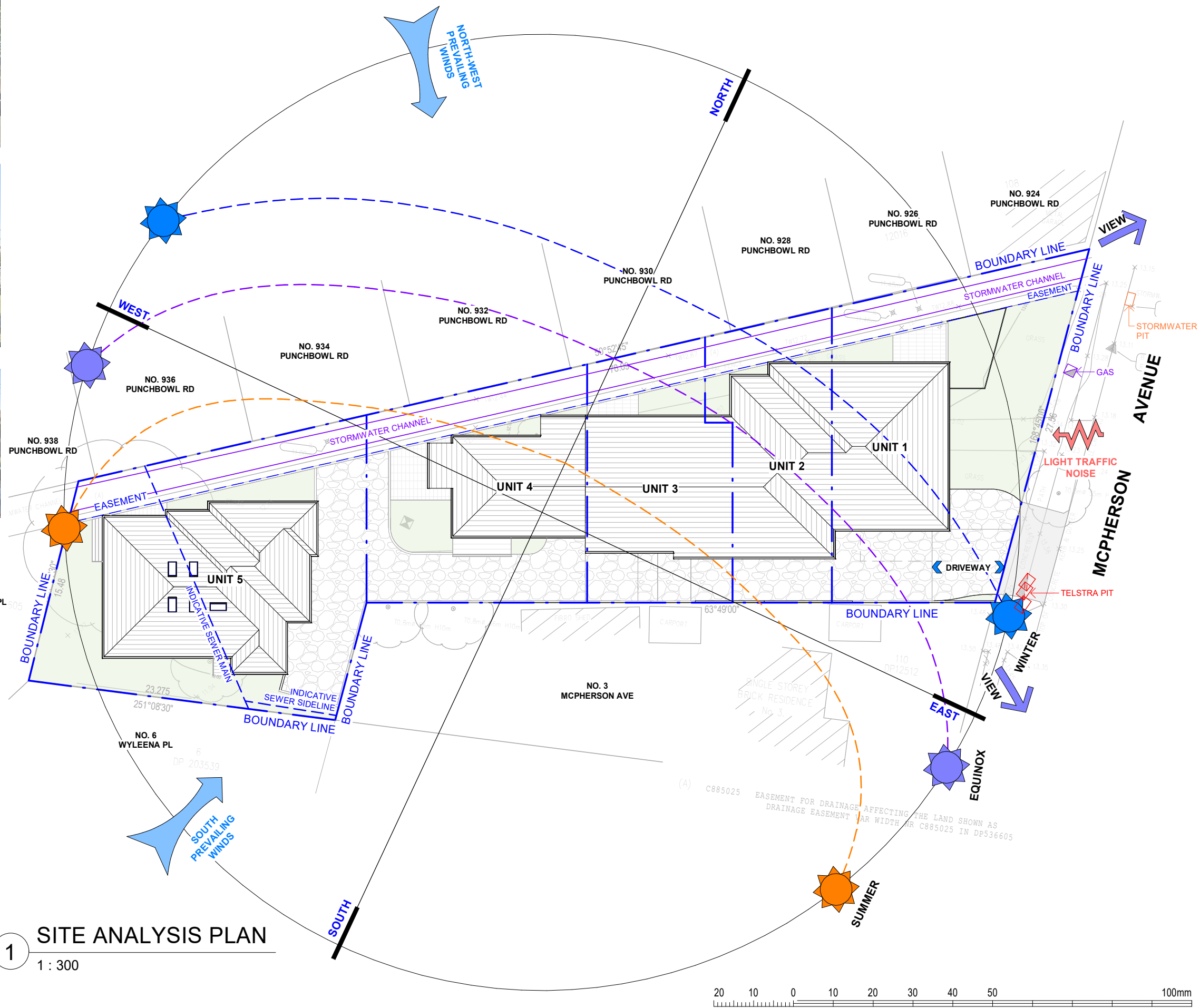
SUMMER SYDNEY WIND



AUTUMN SYDNEY WIND



WINTER SYDNEY WIND



1 SITE ANALYSIS PLAN

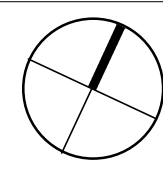
1 : 300

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ISSUE	DATE	REVISION
E	05.07.24	DRAFT DA FOR REVIEW
D	04.07.24	DRAFT DA FOR REVIEW
C	20.06.24	DRAFT DA FOR REVIEW
B	17.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

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LOT 2 DP536605

drawing title:
SITE ANALYSIS PLAN

print date: 05.07.24
drawn: AD
checked: CH
scale: As indicated @A3

DA ISSUE

job
RG24.17
drawing
E
issue
A004

DEVELOPMENT DATA

CANTERBURY - BANKSTOWN LOCAL ENVIRONMENTAL PLAN 2023
CANTERBURY - BANKSTOWN DEVELOPMENT CONTROL PLAN 2023
LOT 2 SITE AREA: 1453.0m²

UNIT 1
PROPOSED GROUND FLOOR: 60.72m²
PROPOSED FIRST FLOOR: 71.01m²
PROPOSED TOTAL FLOOR AREA: 131.73m²

UNIT 2
PROPOSED GROUND FLOOR: 46.69m²
PROPOSED FIRST FLOOR: 69.47m²
PROPOSED TOTAL FLOOR AREA: 116.16m²

UNIT 3
PROPOSED GROUND FLOOR: 53.93m²
PROPOSED FIRST FLOOR: 67.92m²
PROPOSED TOTAL FLOOR AREA: 121.85m²

UNIT 4
PROPOSED GROUND FLOOR: 48.57m²
PROPOSED FIRST FLOOR: 61.31m²
PROPOSED TOTAL FLOOR AREA: 109.88m²

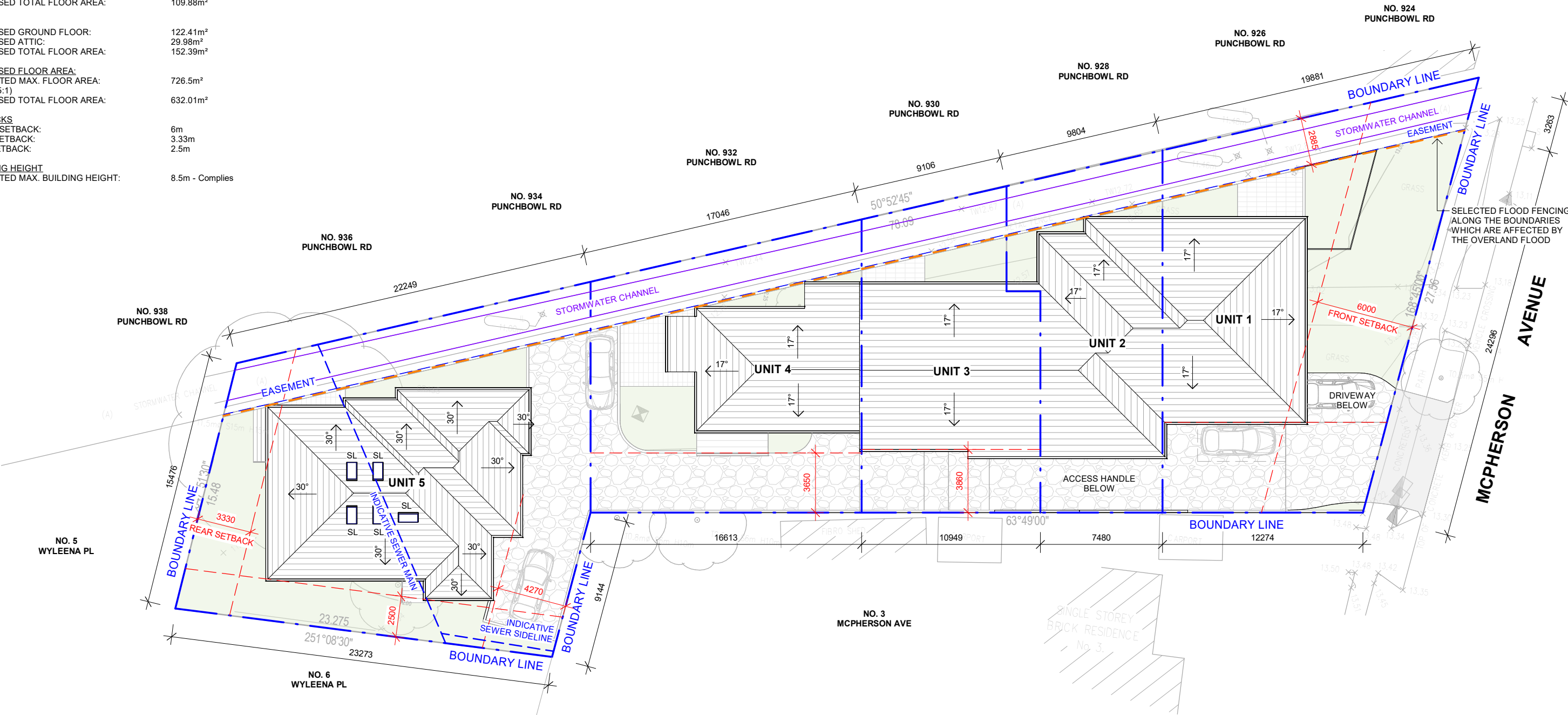
UNIT 5
PROPOSED GROUND FLOOR: 122.41m²
PROPOSED ATTIC: 29.98m²
PROPOSED TOTAL FLOOR AREA: 152.39m²

PROPOSED FLOOR AREA:
PERMITTED MAX. FLOOR AREA: 726.5m²
(FSR 0.5:1)
PROPOSED TOTAL FLOOR AREA: 632.01m²

SETBACKS
FRONT SETBACK: 6m
REAR SETBACK: 3.33m
SIDE SETBACK: 2.5m

BUILDING HEIGHT
PERMITTED MAX. BUILDING HEIGHT: 8.5m - Complies

NOTE:
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION
WITH BASIX REPORT (CERTIFICATE NUMBER: 1759378M),
NATHERS REPORT (CERTIFICATE NUMBER: 0009679101,
0009679119, 0009679127, 0009679135 & 0009679143),
ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.



1 SITE PLAN

1 : 250

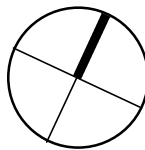
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J	14.02.25	REVISED DA	
I	16.12.24	REVISED DA	
H	06.09.24	BASIX & NATHERS CERTIFICATE	
G	02.09.24	FLOOD FENCING	
F	05.07.24	DRAFT DA FOR REVIEW	
ISSUE	DATE	REVISION	

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PROPOSED MULTI DWELLING
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LOT 2 DP536605

drawing title:

SITE PLAN

print date: 14.02.25

drawn: AD

checked: CH

scale: As indicated @A3

DA ISSUE

job

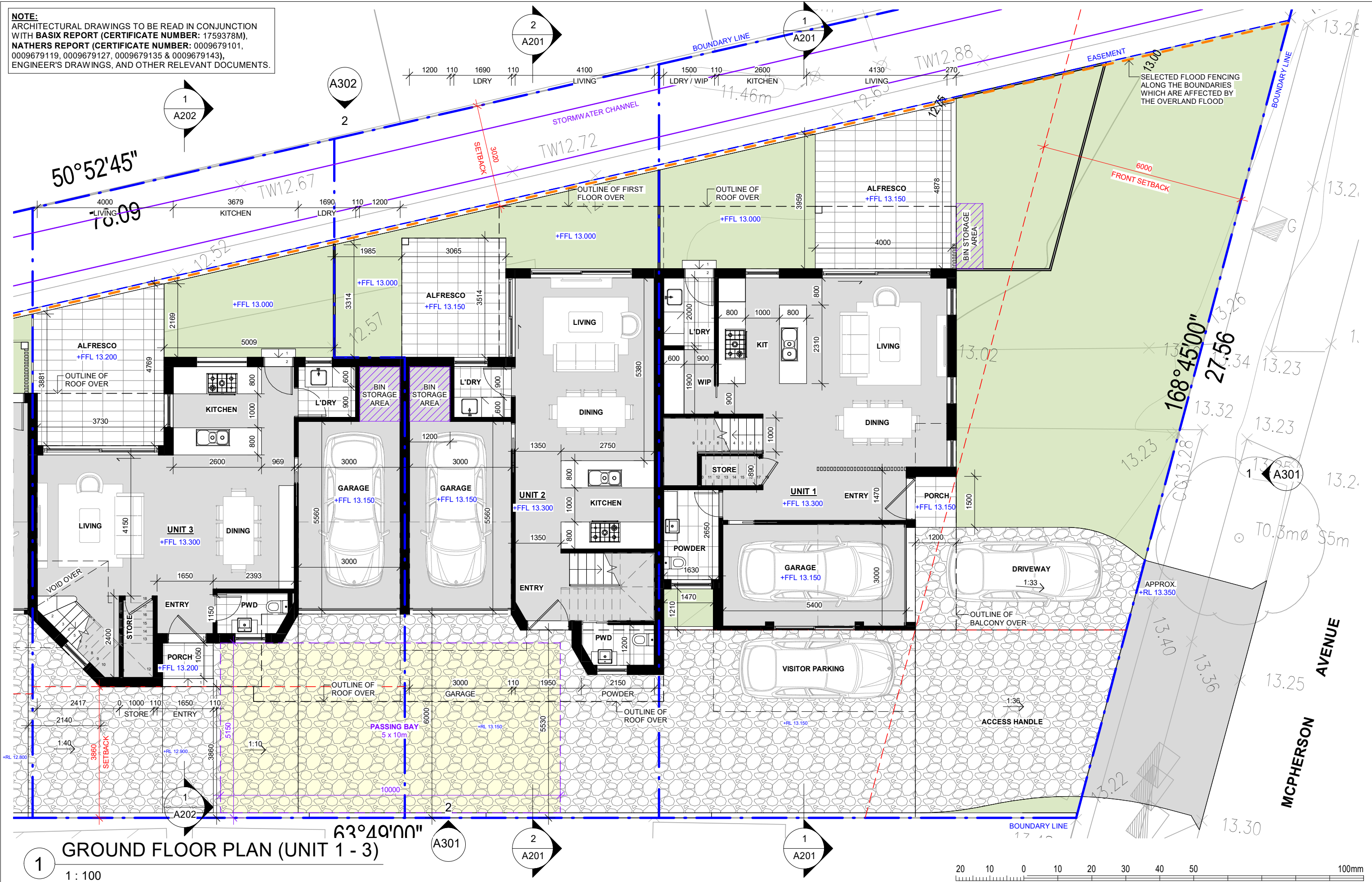
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drawing

issue

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A100

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ISSUE	DATE	REVISION
J	10.03.25	REVISED EXTERNAL WALLS
I	14.02.25	REVISED DA
H	16.12.24	REVISED DA
G	06.09.24	BASIX & NATHERS CERTIFICATE
F	02.09.24	FLOOD FENCING

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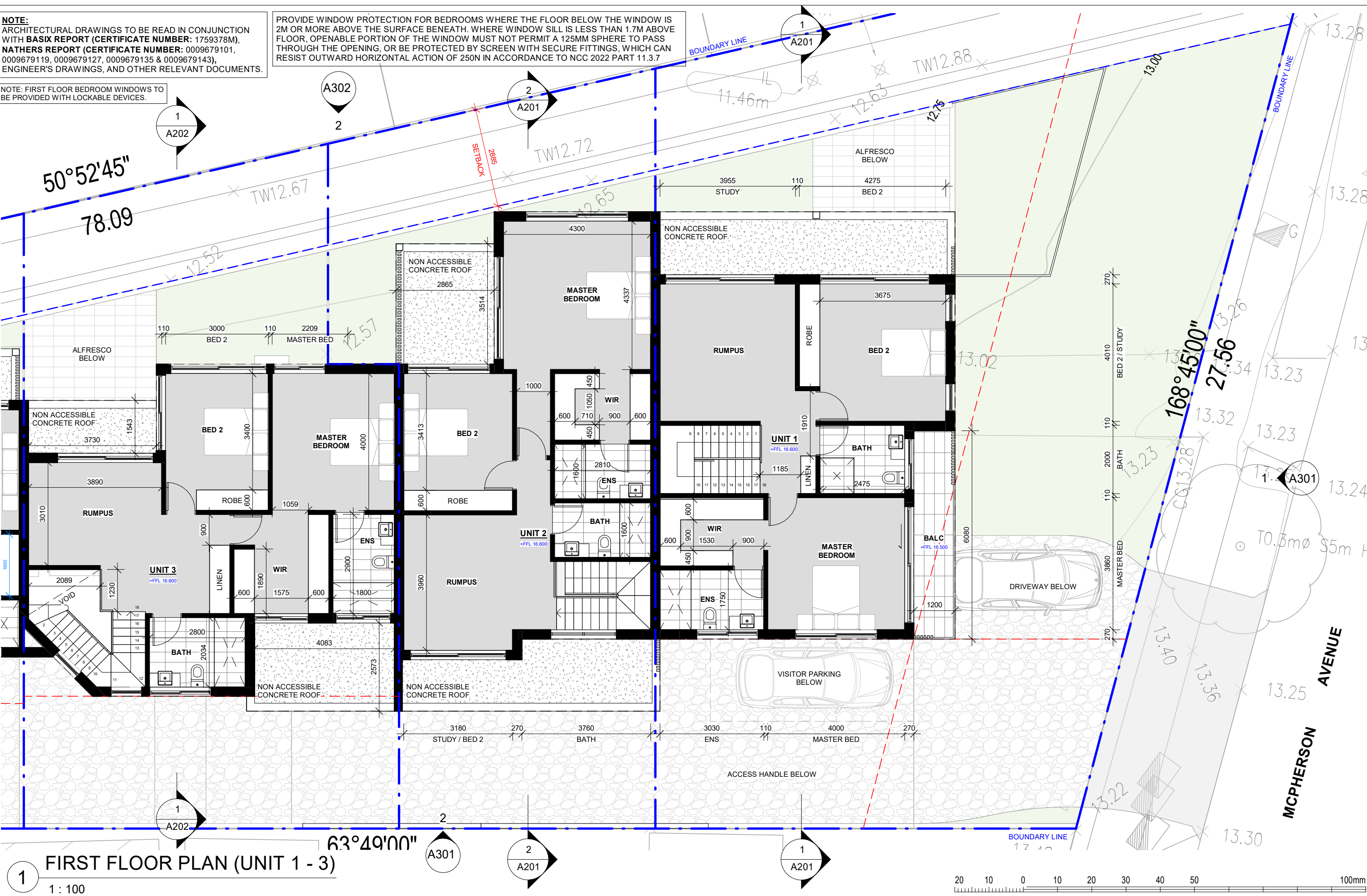
client: BASSIM OMAR
project: PROPOSED MULTI DWELLING HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title: GROUND FLOOR PLAN (UNIT 1 - 3)
print date: 10.03.25
drawn: AD
checked: CH
scale: 1:100 @A3
DA ISSUE
job
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A101

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NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.

PROVIDE WINDOW PROTECTION FOR BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS
2M OR MORE ABOVE THE SURFACE BENEATH. WHERE WINDOW SILL IS LESS THAN 1.7M ABOVE
FLOOR, OPENABLE PORTION OF THE WINDOW MUST NOT PERMIT A 125MM SPHERE TO PASS
THROUGH THE OPENING, OR BE PROTECTED BY SCREEN WITH SECURE FITTINGS, WHICH CAN
RESIST OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE TO NCC 2022 PART 11.3.7



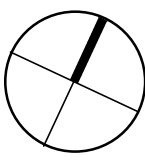
1 FIRST FLOOR PLAN (UNIT 1 - 3)
1 : 100

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E	05.07.24	DRAFT DA FOR REVIEW

designed

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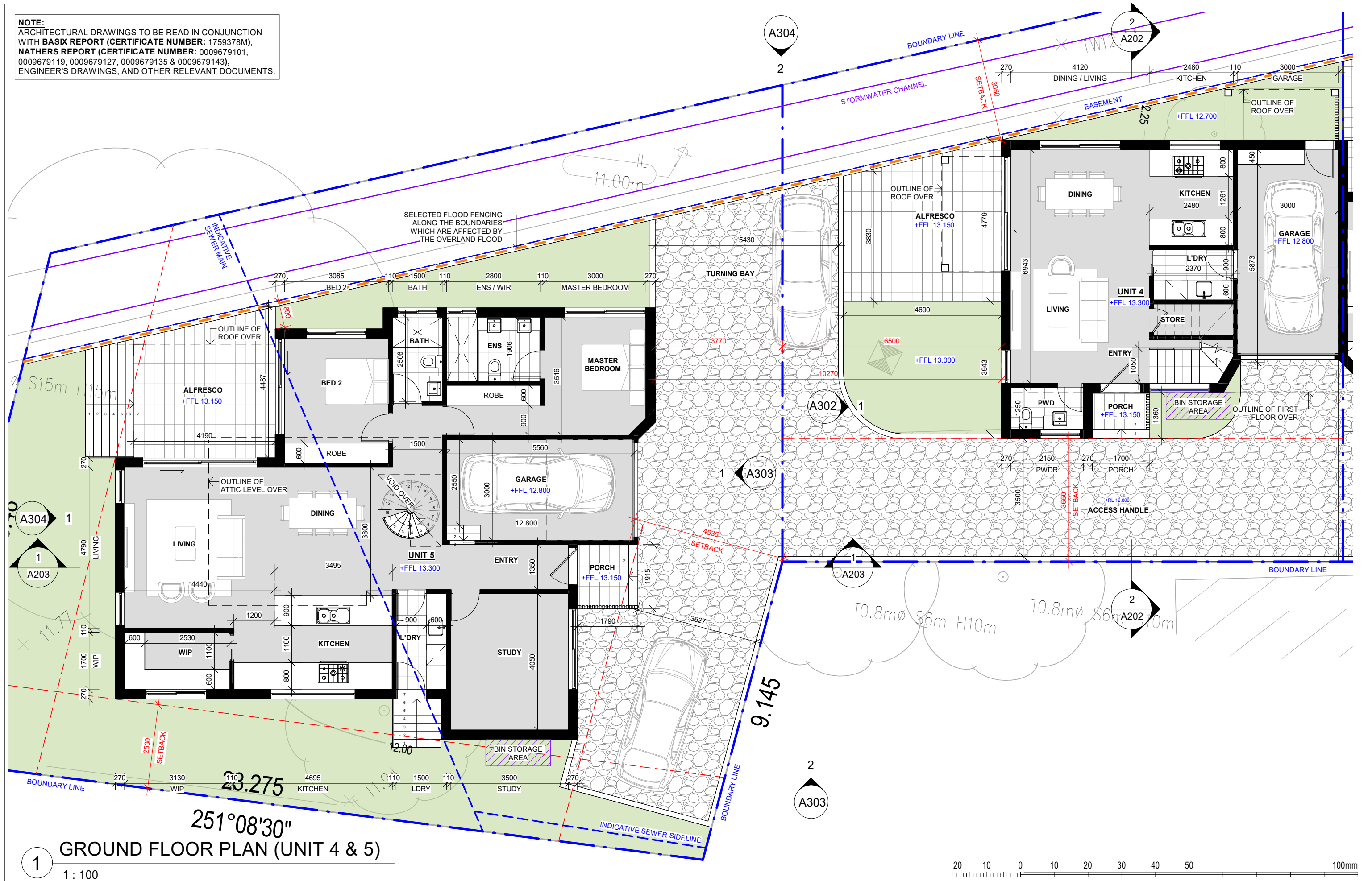
client: BASSIM OMAR
project:
PROPOSED MULTI DWELLING
HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:
**FIRST FLOOR PLAN
(UNIT 1 - 3)**

print date: 10.03.25
drawn: AD
checked: CH
scale: 1: 100 @A3

DA ISSUE
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RG24.17
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I
A102

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0009679119, 0009679127, 0009679135 & 0009679143),
ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.



GROUND FLOOR PLAN (UNIT 4 & 5)

1 : 100

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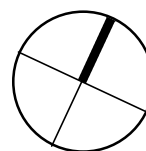
ISSUE	DATE	REVISION
K	10.03.25	REVISED EXTERNAL WALLS
J	14.02.25	REVISED DA
I	16.12.24	REVISED DA
H	06.09.24	BASIX & NATHERS CERTIFICATE
G	02.09.24	FLOOD FENCING

designed



RESOLUT

p: (02) 8003 5885
e: info@resolut.com.au



client: BASSIM OMAR

project:
**PROPOSED MULTI DWELLING
HOUSING**
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:

**GROUND FLOOR PLAN
(UNIT 4 & 5)**

print date: 10.03.25

drawn: AD

checked: CH

scale: 1 : 100 @A3

DA ISSUE

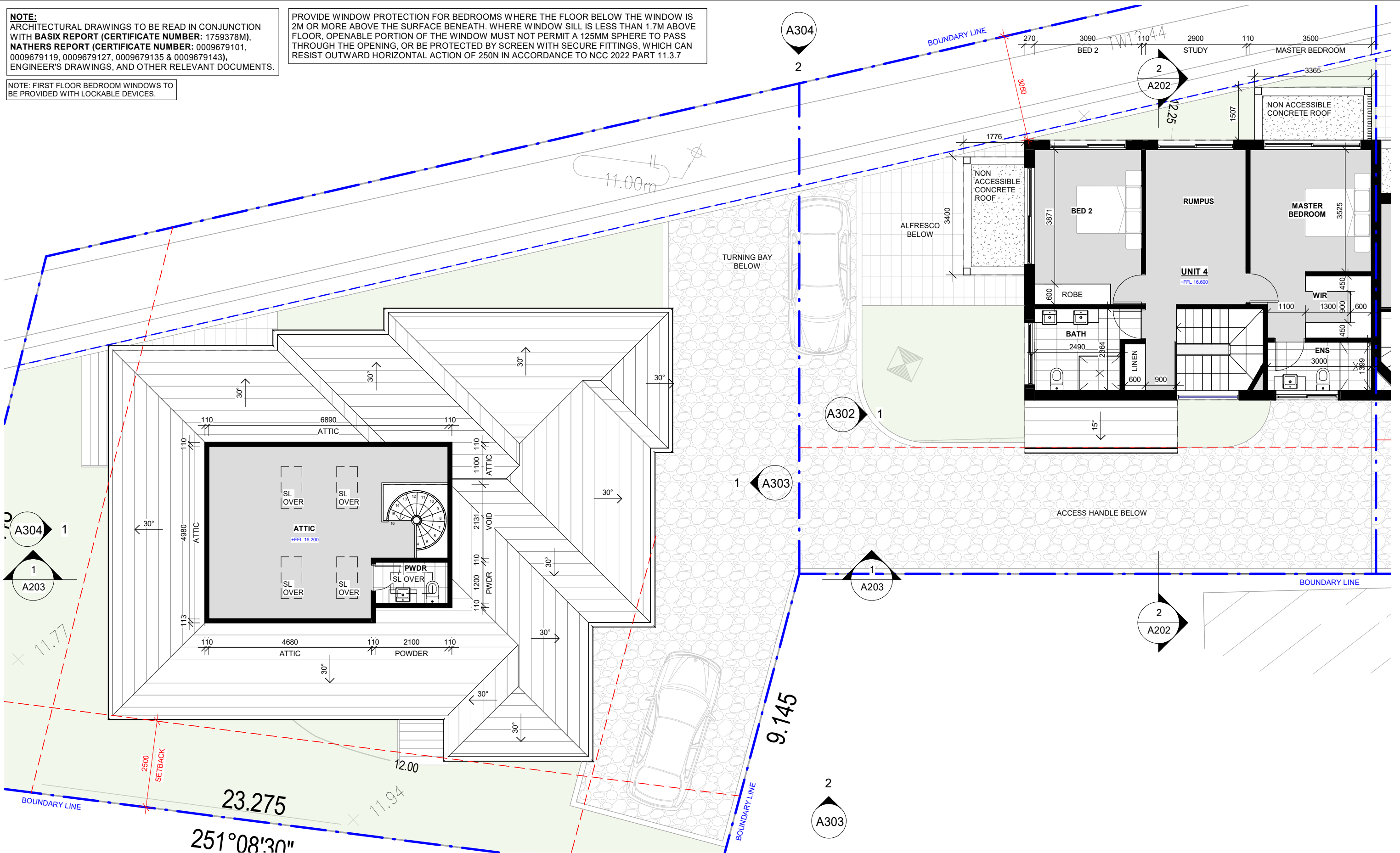
job
RG24.17
drawing

issue
K
A103

NOTE:
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0009679119, 0009679127, 0009679135 & 0009679143),
ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.

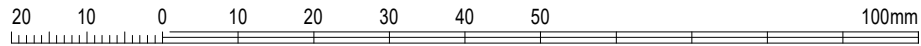
NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.

PROVIDE WINDOW PROTECTION FOR BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS
2M OR MORE ABOVE THE SURFACE BENEATH. WHERE WINDOW SILL IS LESS THAN 1.7M ABOVE
FLOOR, OPENABLE PORTION OF THE WINDOW MUST NOT PERMIT A 125MM SPHERE TO PASS
THROUGH THE OPENING, OR BE PROTECTED BY SCREEN WITH SECURE FITTINGS, WHICH CAN
RESIST OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE TO NCC 2022 PART 11.3.7



FIRST FLOOR PLAN (UNIT 4 & 5)

1 : 100



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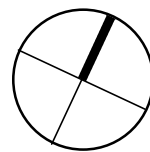
ISSUE	DATE	REVISION
I	10.03.25	REVISED EXTERNAL WALLS
H	14.02.25	REVISED DA
G	16.12.24	REVISED DA
F	06.09.24	BASIX & NATHERS CERTIFICATE
E	05.07.24	DRAFT DA FOR REVIEW

designed



RESOLUT

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client: BASSIM OMAR

project:
**PROPOSED MULTI DWELLING
HOUSING**
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:

**FIRST FLOOR PLAN
(UNIT 4 & 5)**

print date: 10.03.25

drawn: AD

checked: CH

scale: 1 : 100

DA ISSUE

job

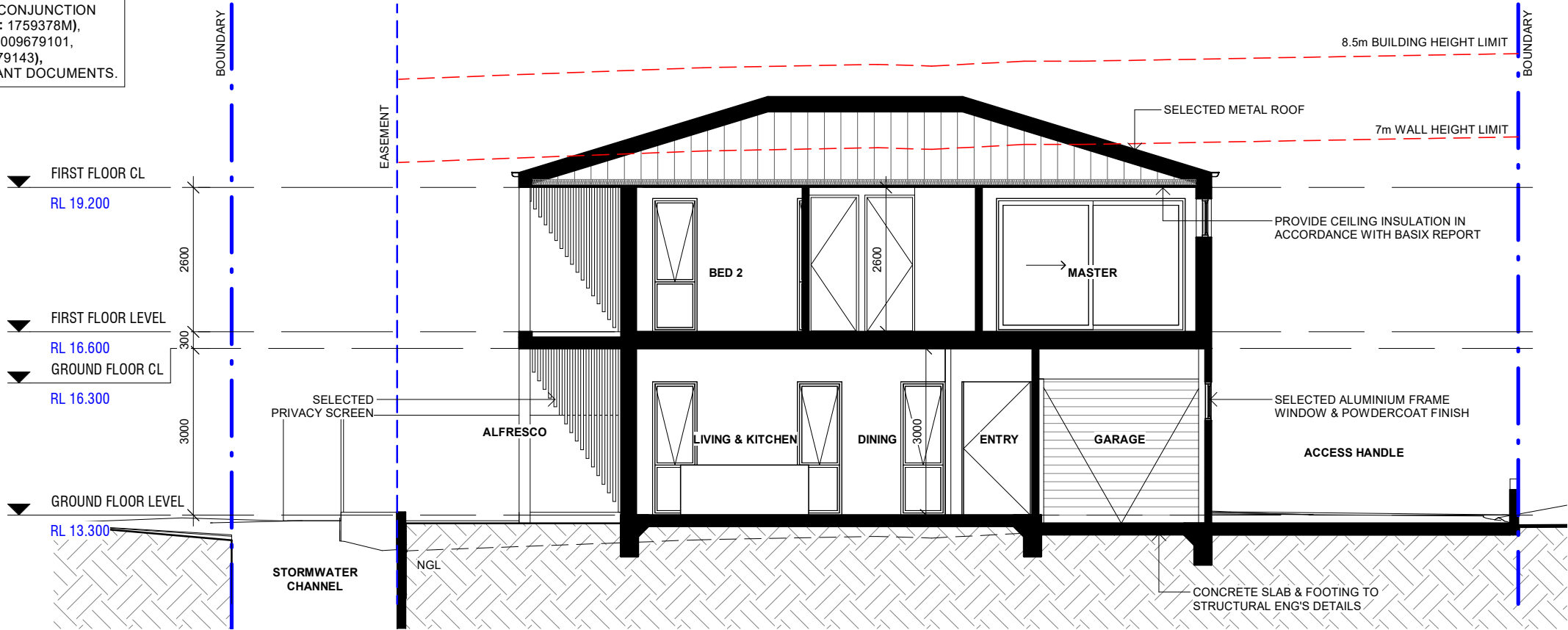
RG24.17

drawing

A104

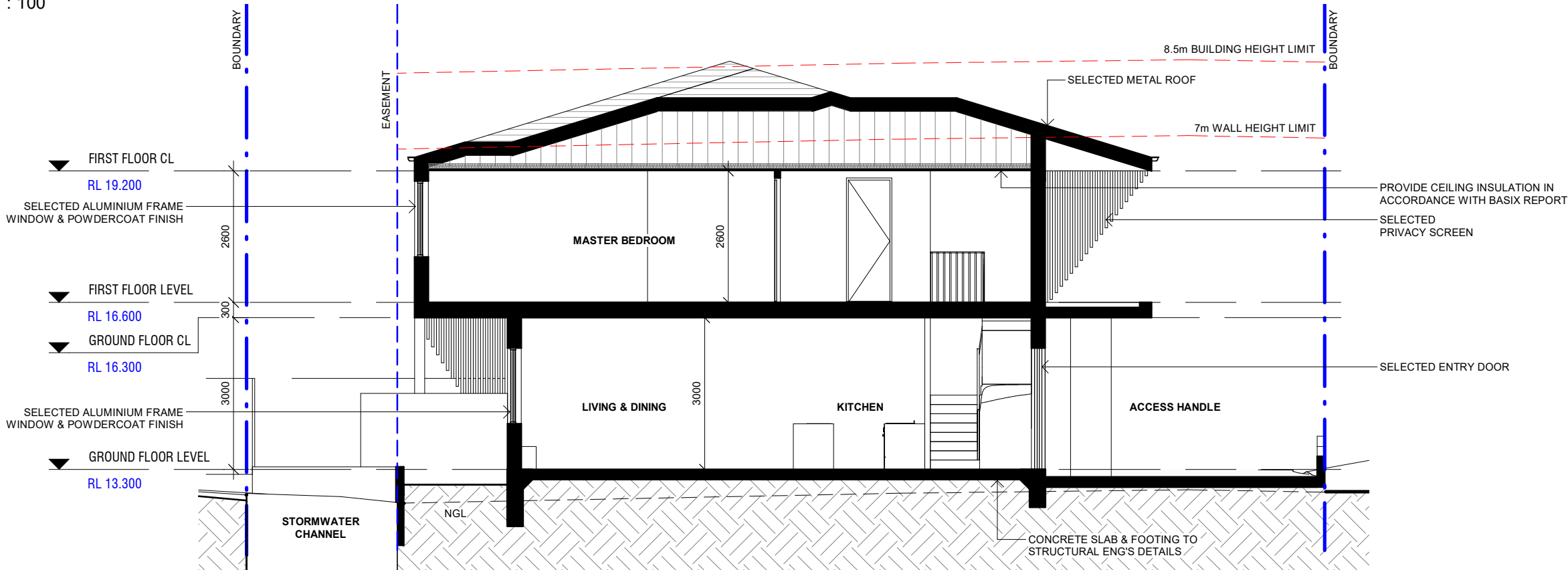
NOTE:
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION
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NATHERS REPORT (CERTIFICATE NUMBER: 0009679101,
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NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.



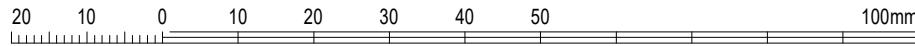
SECTION - UNIT 1

1
1 : 100



SECTION - UNIT 2

2
1 : 100



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E	06.09.24	BASIX & NATHERS CERTIFICATE
D	05.07.24	DRAFT DA FOR REVIEW
C	20.06.24	DRAFT DA FOR REVIEW
B	12.06.24	DRAFT DA FOR REVIEW
ISSUE	DATE	REVISION

designed



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client: BASSIM OMAR

project:
PROPOSED MULTI DWELLING
HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:
BUILDING SECTIONS -
SHEET 1

print date: 16.12.24

drawn: AD

checked: CH

scale: 1 : 100

DA ISSUE

job

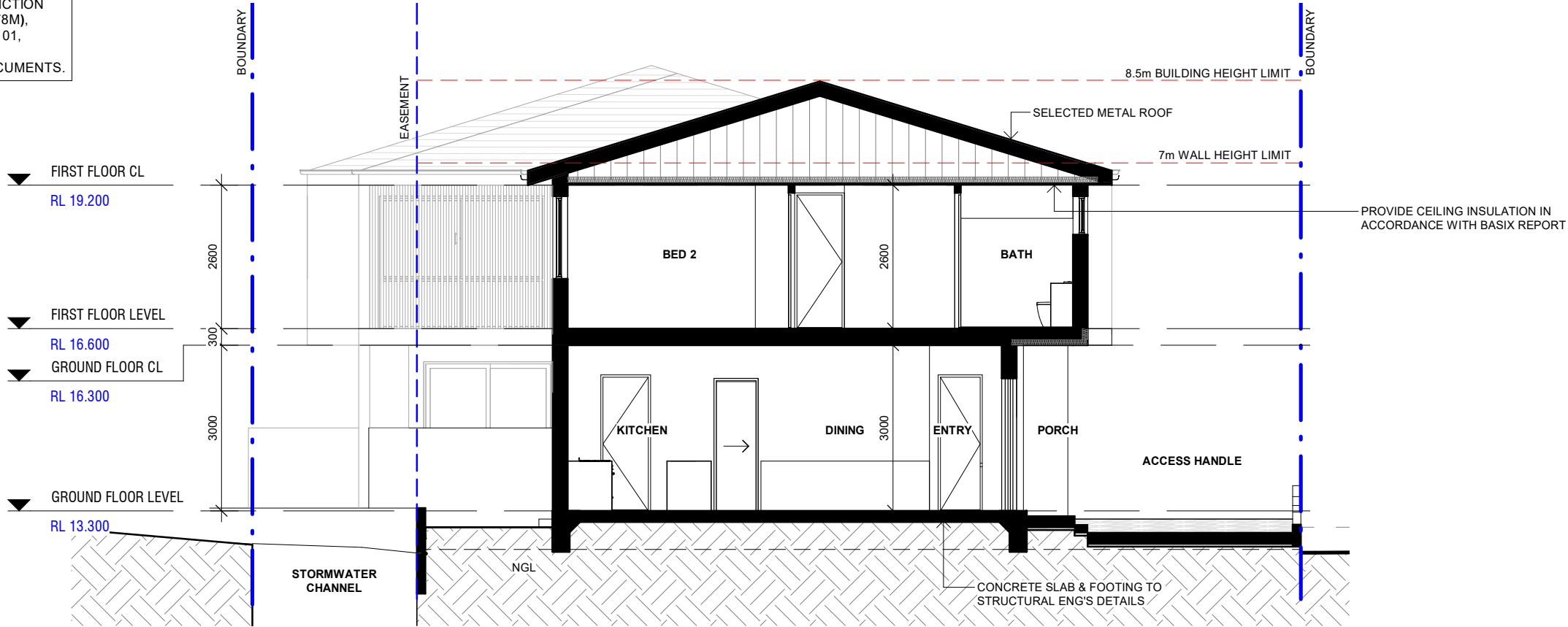
RG24.17

issue
drawing

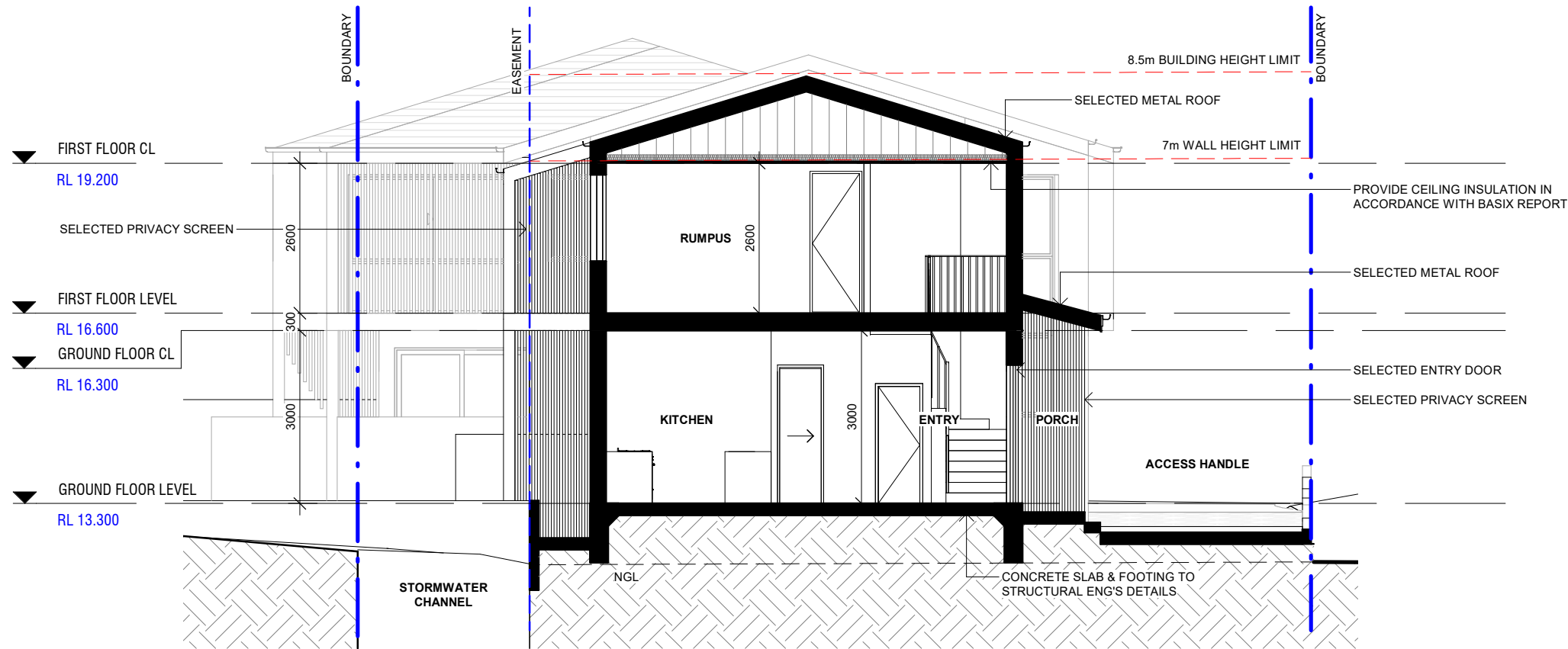
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A201

NOTE:
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ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.

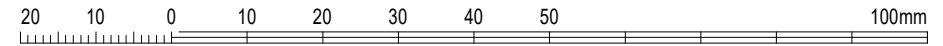
NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.



1 SECTION - UNIT 3
1 : 100



2 SECTION - UNIT 4
1 : 100



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ISSUE	DATE	REVISION
F	16.12.24	REVISED DA
E	06.09.24	BASIX & NATHERS CERTIFICATE
D	05.07.24	DRAFT DA FOR REVIEW
C	20.06.24	DRAFT DA FOR REVIEW
B	12.06.24	DRAFT DA FOR REVIEW

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e: info@resolut.com.au

client: BASSIM OMAR

project:
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HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:

BUILDING SECTIONS -
SHEET 2

print date: 16.12.24

drawn: AD

checked: CH

scale: 1 : 100

@A3

DA ISSUE

job

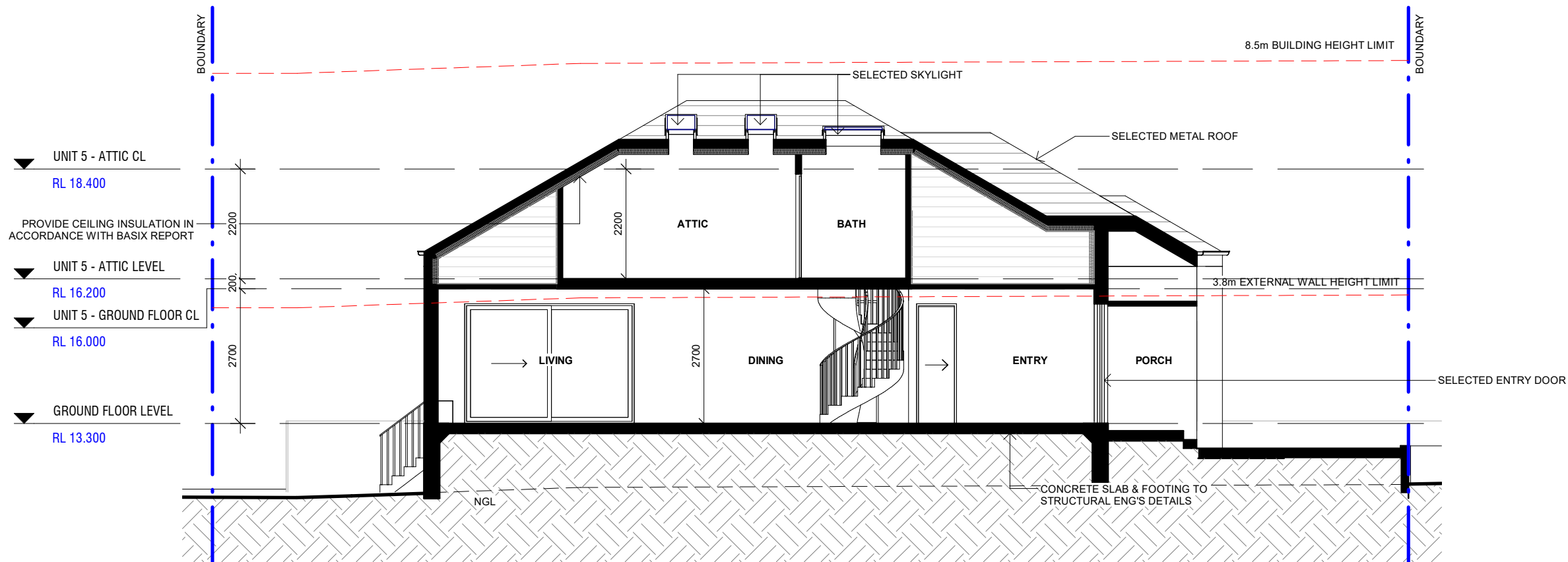
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drawing

issue

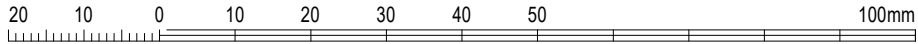
F
A202

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1 SECTION - UNIT 5
1 : 100



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	D	04.07.24	DRAFT DA FOR REVIEW
	C	20.06.24	DRAFT DA FOR REVIEW
	B	12.06.24	DRAFT DA FOR REVIEW
	ISSUE	DATE	REVISION

	F	06.09.24	BASIX & NATHERS CERTIFICATE
	E	05.07.24	DRAFT DA FOR REVIEW
	D	04.07.24	DRAFT DA FOR REVIEW
	C	20.06.24	DRAFT DA FOR REVIEW
	B	12.06.24	DRAFT DA FOR REVIEW
	ISSUE	DATE	REVISION

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project: PROPOSED MULTI DWELLING HOUSING	
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196	
LOT 2 DP536605	

drawing title:	
BUILDING SECTION - SHEET 3	

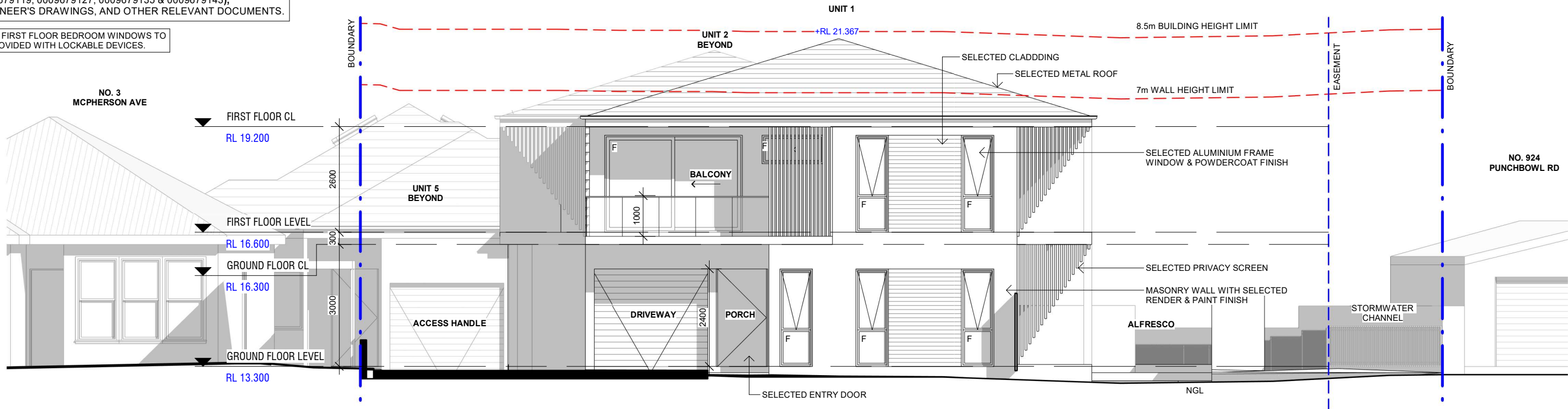
print date: 06.09.24	
drawn: AD	
checked: CH	
scale: 1 : 100 @A3	
DA ISSUE	

RG24.17	
drawing	

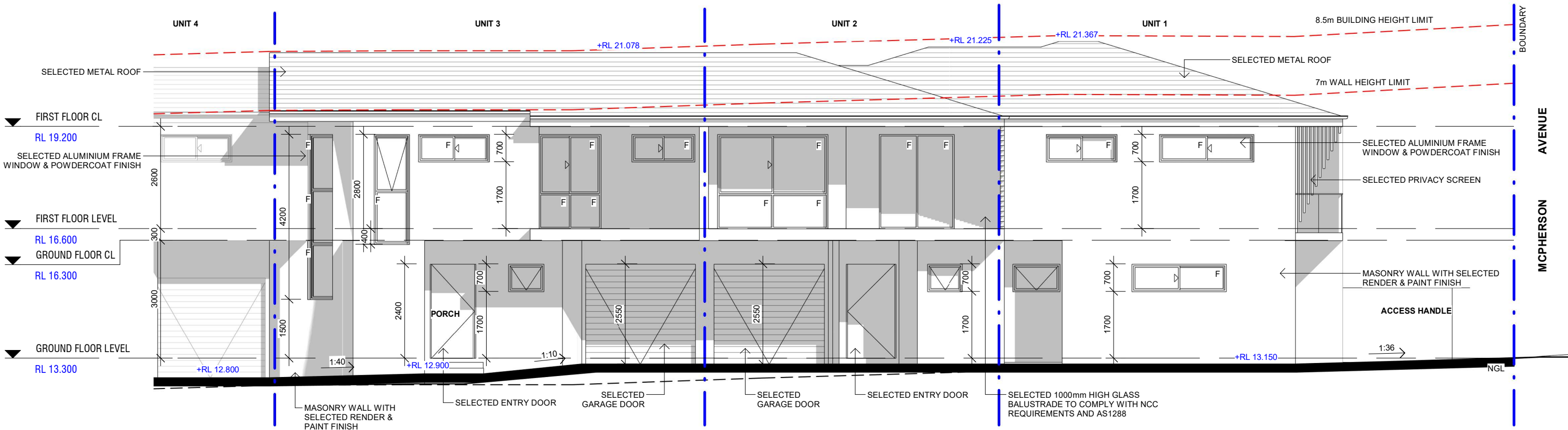
F	
A203	

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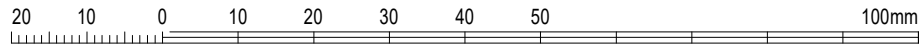
NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.



1 EAST ELEVATION (MCPHERSON AVENUE - UNIT 1)
1 : 100



2 SOUTH ELEVATION (UNIT 1 - 3)
1 : 100



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H	14.02.25	REVISED DA
G	16.12.24	REVISED DA
F	06.09.24	BASIX & NATHERS CERTIFICATE
E	05.07.24	DRAFT DA FOR REVIEW
D	20.06.24	DRAFT DA FOR REVIEW

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LOT 2 DP536605

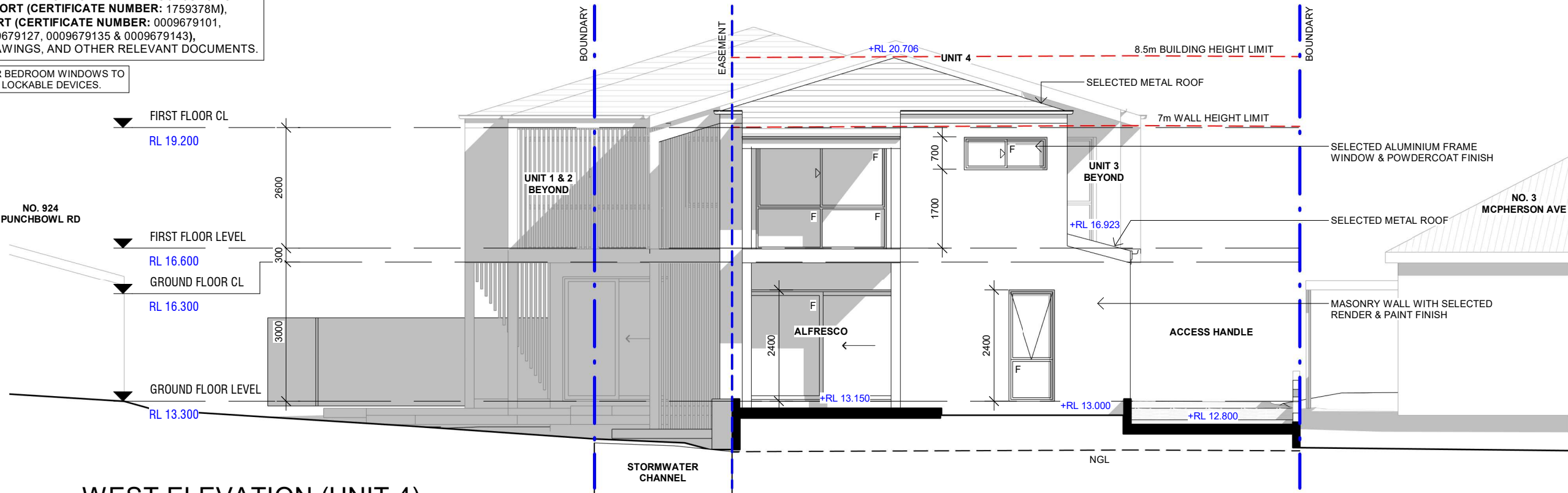
drawing title:
ELEVATIONS - SHEET 1

print date: 14.02.25
drawn: AD
checked: CH
scale: 1 : 100 @A3
DA ISSUE

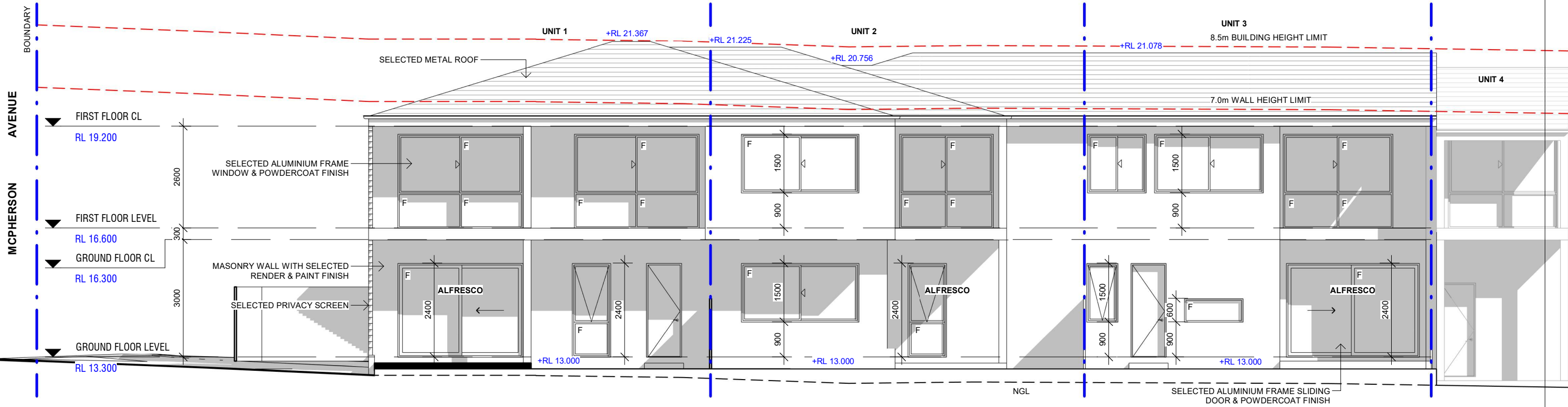
RG24.17
drawing
H
A301

NOTE:
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0009679119, 0009679127, 0009679135 & 0009679143),
ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.

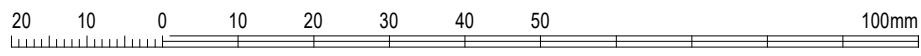
NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.



1 WEST ELEVATION (UNIT 4)
1 : 100



2 NORTH ELEVATION (UNIT 1 - 3)
1 : 100



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G	16.12.24	REVISED DA
F	06.09.24	BASIX & NATHERS CERTIFICATE
E	05.07.24	DRAFT DA FOR REVIEW
D	20.06.24	DRAFT DA FOR REVIEW
ISSUE	DATE	REVISION

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LOT 2 DP536605

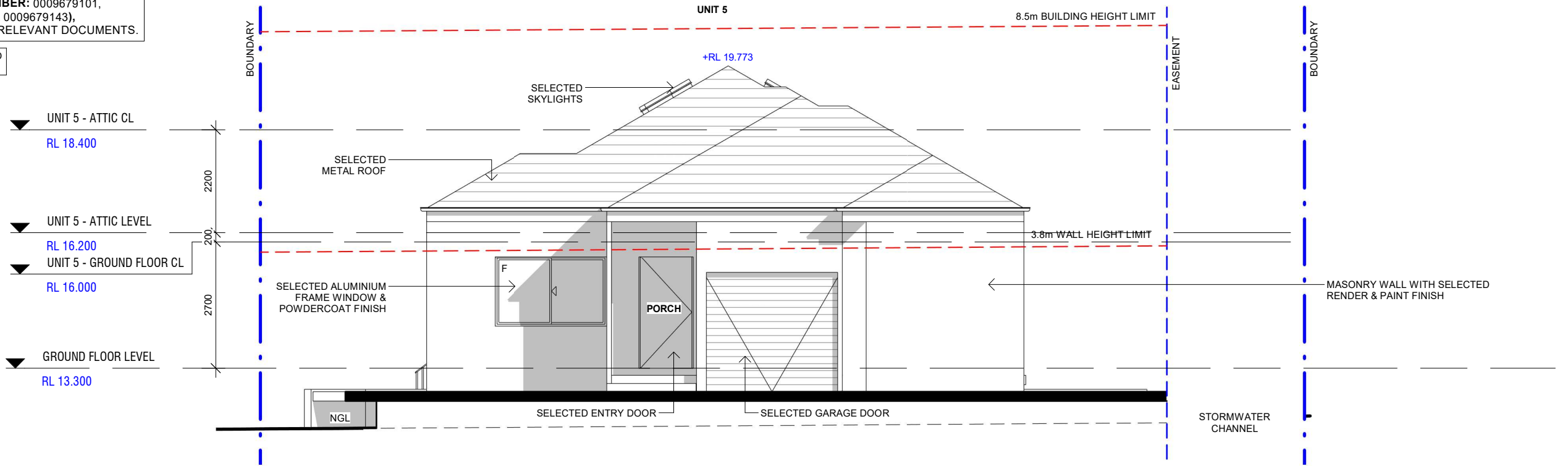
drawing title:
ELEVATIONS - SHEET 2

print date: 14.02.25
drawn: AD
checked: CH
scale: 1 : 100 @A3
DA ISSUE

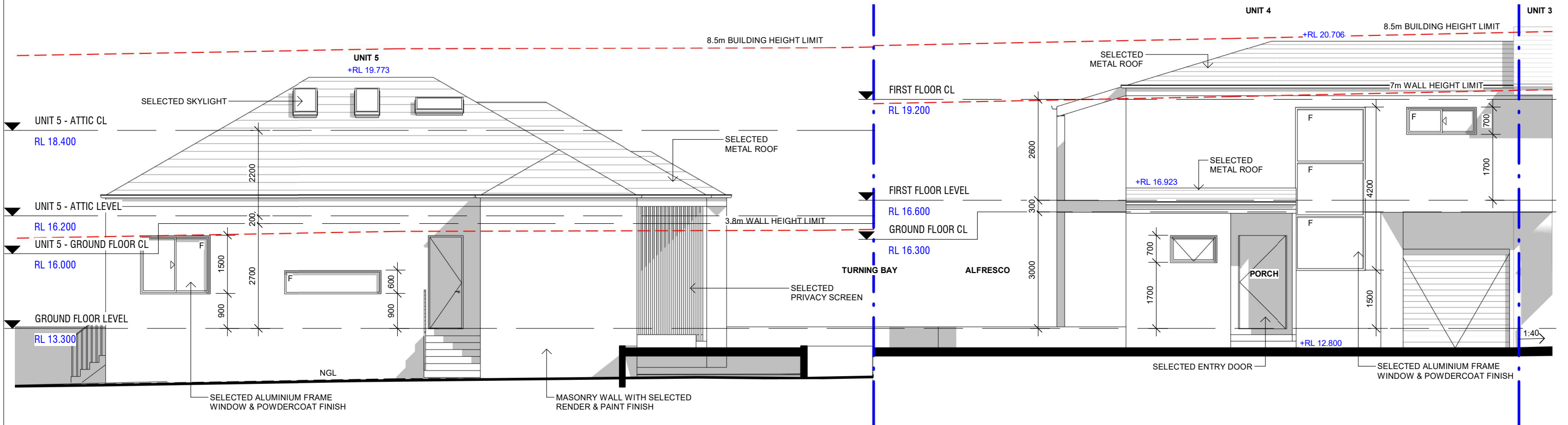
RG24.17
drawing
issue
H
A302

NOTE:
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0009679119, 0009679127, 0009679135 & 0009679143),
ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.

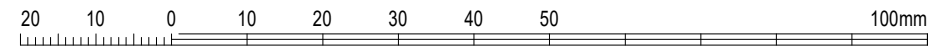
NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.



1 EAST ELEVATION (UNIT 5)
1 : 100



2 SOUTH ELEVATION (UNIT 4 & 5)
1 : 100



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I	14.02.25	REVISED DA
H	16.12.24	REVISED DA
G	06.09.24	BASIX & NATHERS CERTIFICATE
F	05.07.24	DRAFT DA FOR REVIEW
E	04.07.24	DRAFT DA FOR REVIEW
ISSUE	DATE	REVISION

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e: info@resolut.com.au

client: BASSIM OMAR
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LOT 2 DP536605

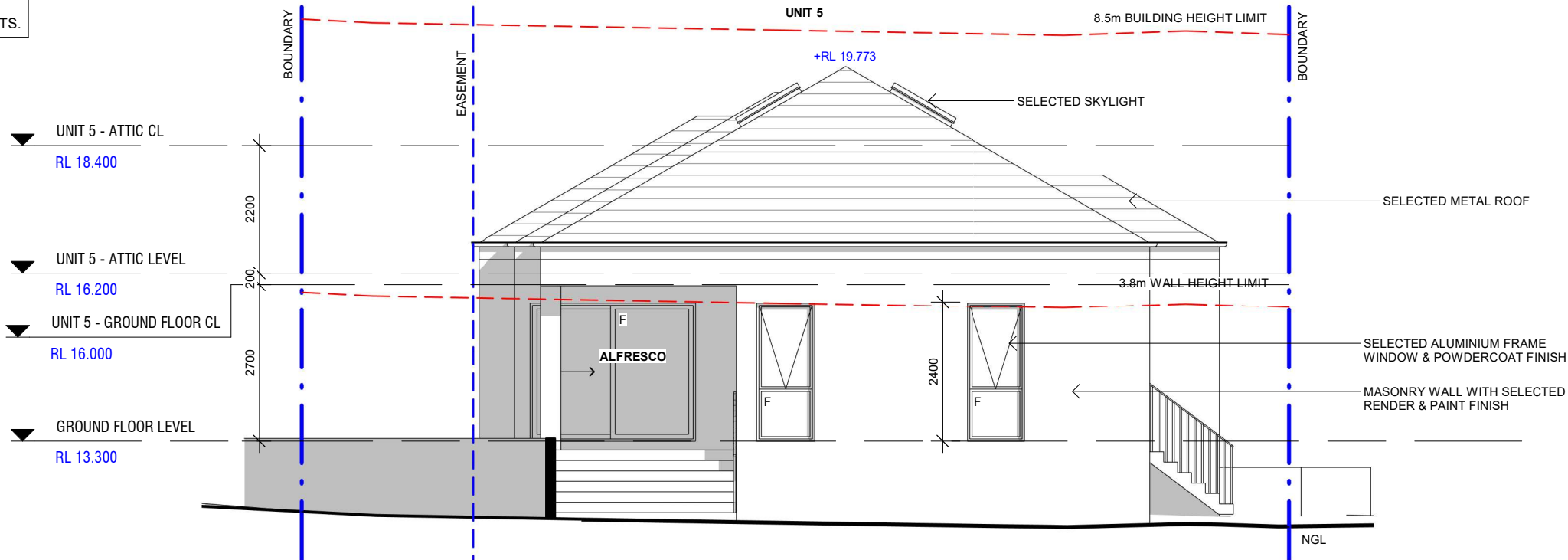
drawing title:
ELEVATIONS - SHEET
3

print date: 14.02.25
drawn: AD
checked: CH
scale: 1 : 100 @A3
DA ISSUE

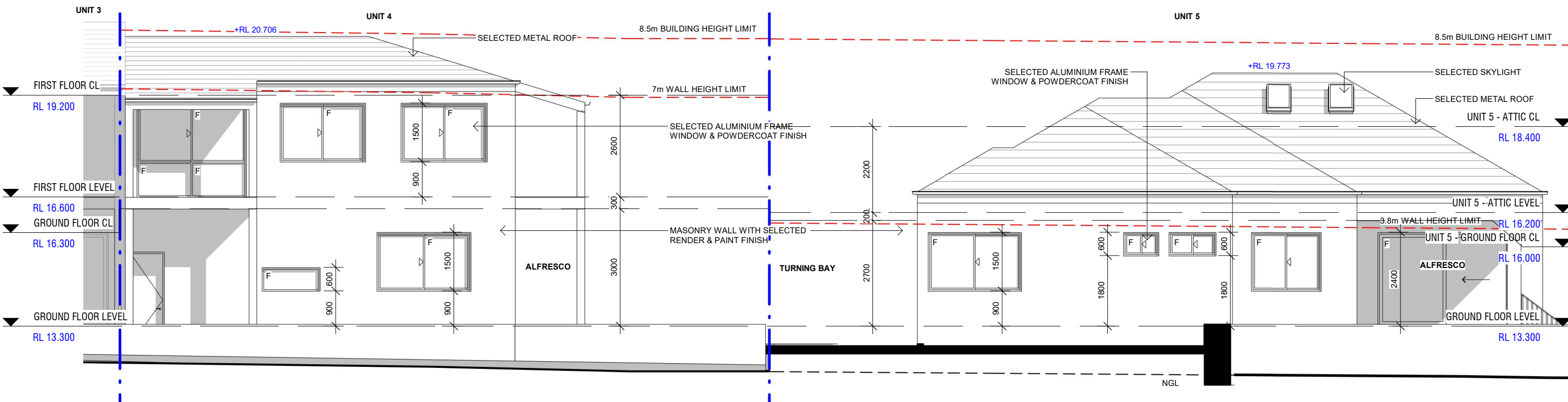
RG24.17
drawing
issue
A303

NOTE:
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0009679119, 0009679127, 0009679135 & 0009679143),
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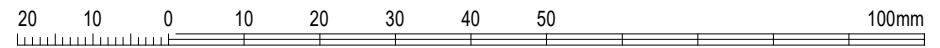
NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.



1 WEST ELEVATION (UNIT 5)
1 : 100



2 NORTH ELEVATION (UNIT 4 & 5)
1 : 100



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G	06.09.24	BASIX & NATHERS CERTIFICATE
F	05.07.24	DRAFT DA FOR REVIEW
E	04.07.24	DRAFT DA FOR REVIEW
D	20.06.24	DRAFT DA FOR REVIEW
ISSUE	DATE	REVISION

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project:
**PROPOSED MULTI DWELLING
HOUSING**
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title:

**ELEVATIONS - SHEET
4**

print date: 16.12.24

drawn: AD

checked: CH

scale: 1 : 100 @A3

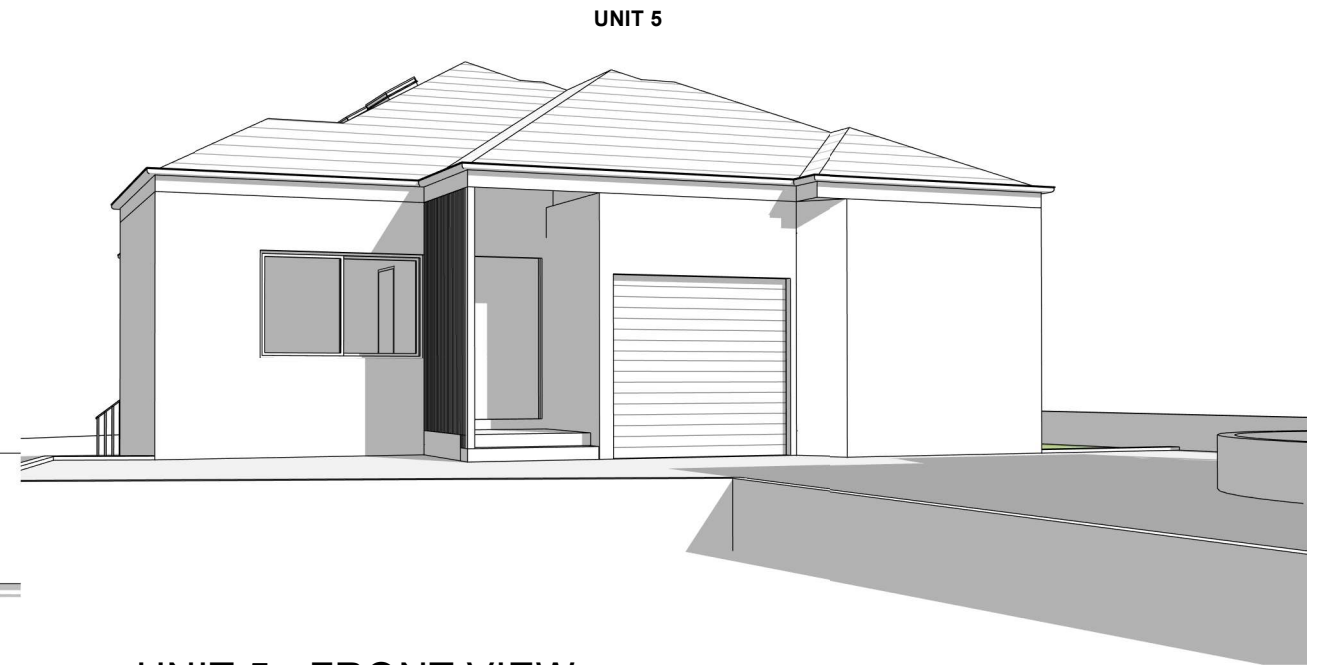
DA ISSUE

job
RG24.17
drawing

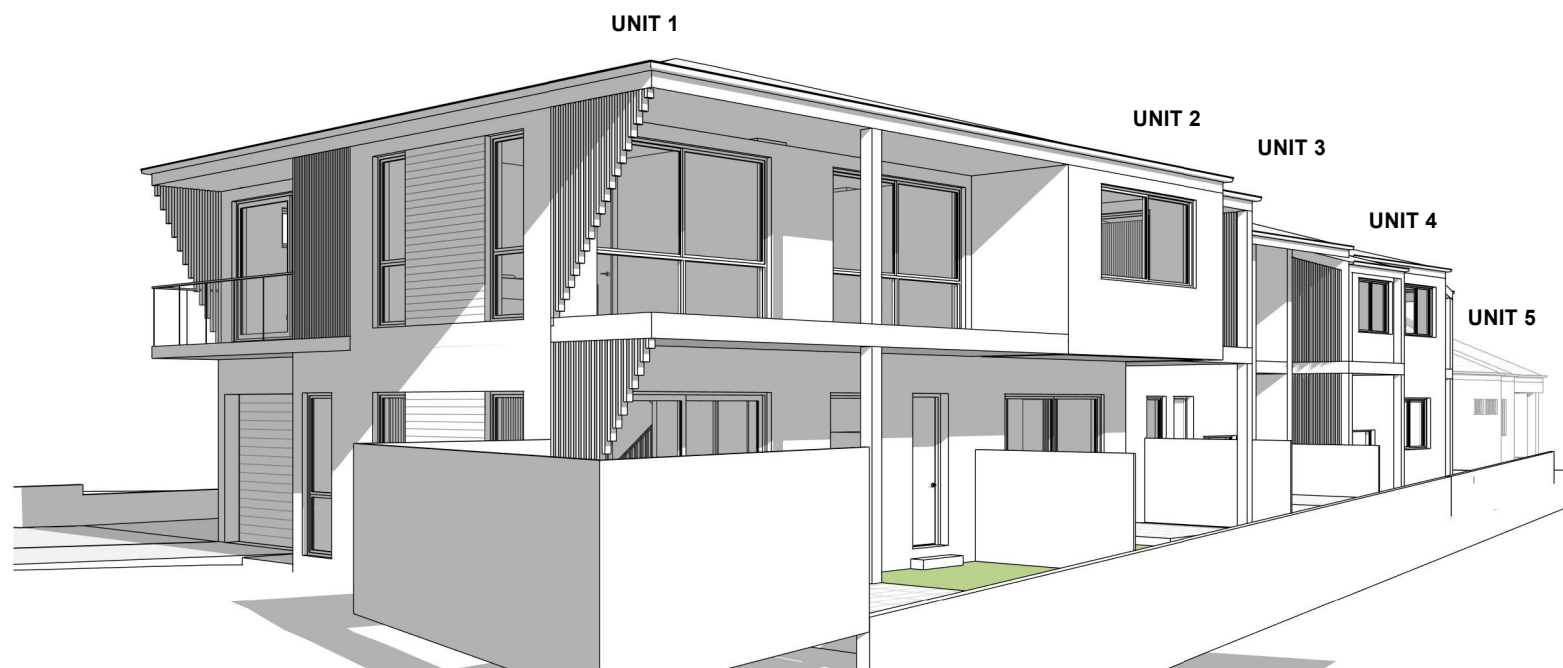
issue
H
A304



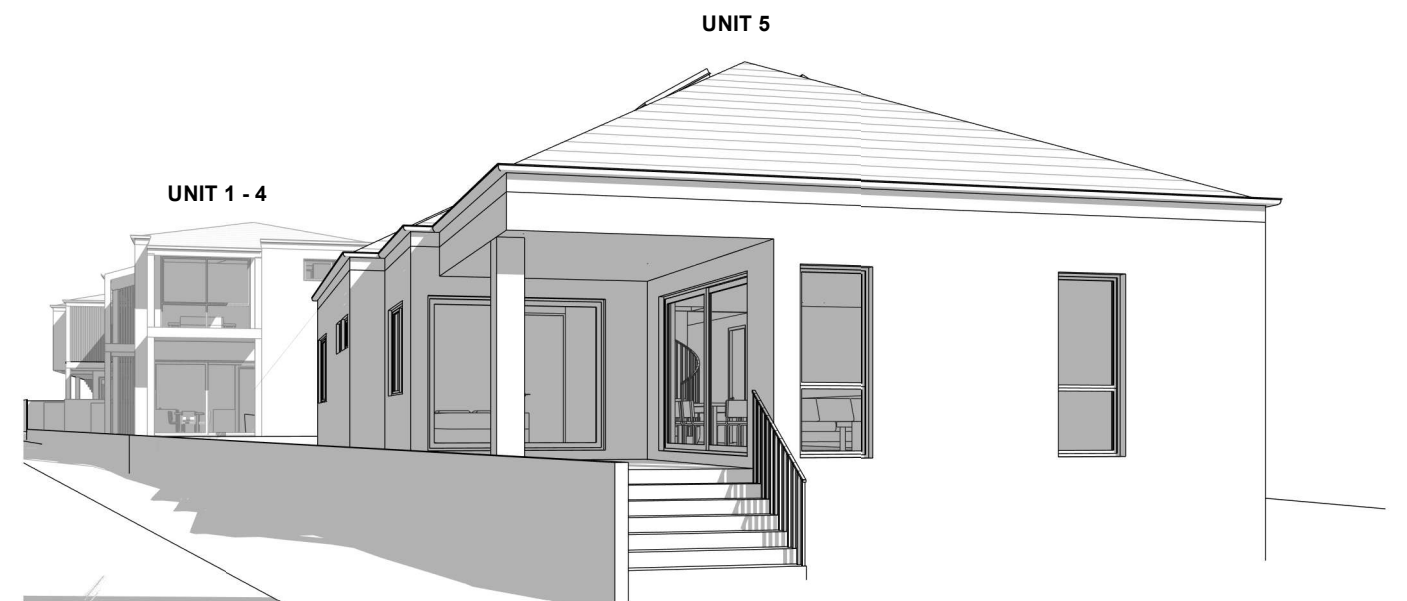
1 **MCPHERSON AVENUE - VIEW 1**
FOR ILLUSTRATION ONLY



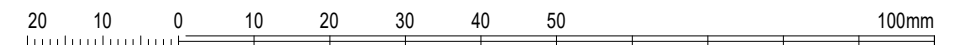
2 **UNIT 5 - FRONT VIEW**
FOR ILLUSTRATION ONLY



3 **FRONT VIEW 2 (MCPHERSON AVENUE)**
FOR ILLUSTRATION ONLY



4 **REAR VIEW**
FOR ILLUSTRATION ONLY



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ISSUE	DATE	REVISION
G	16.12.24	REVISED DA
F	05.07.24	DRAFT DA FOR REVIEW
E	04.07.24	DRAFT DA FOR REVIEW
D	20.06.24	DRAFT DA FOR REVIEW
C	18.06.24	DRAFT DA FOR REVIEW

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client: BASSIM OMAR
project:
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1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

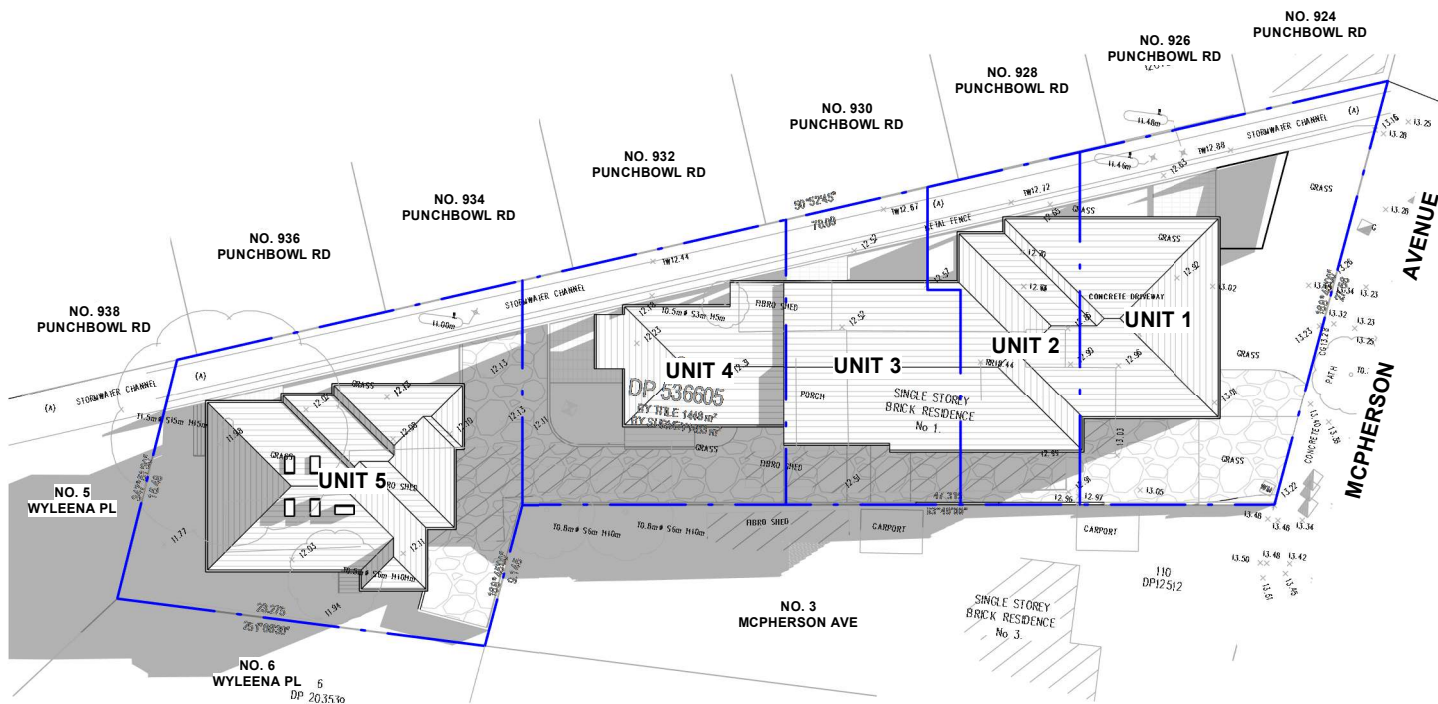
drawing title:
3D PERSPECTIVE VIEWS

print date: 16.12.24
drawn: AD
checked: CH
scale:

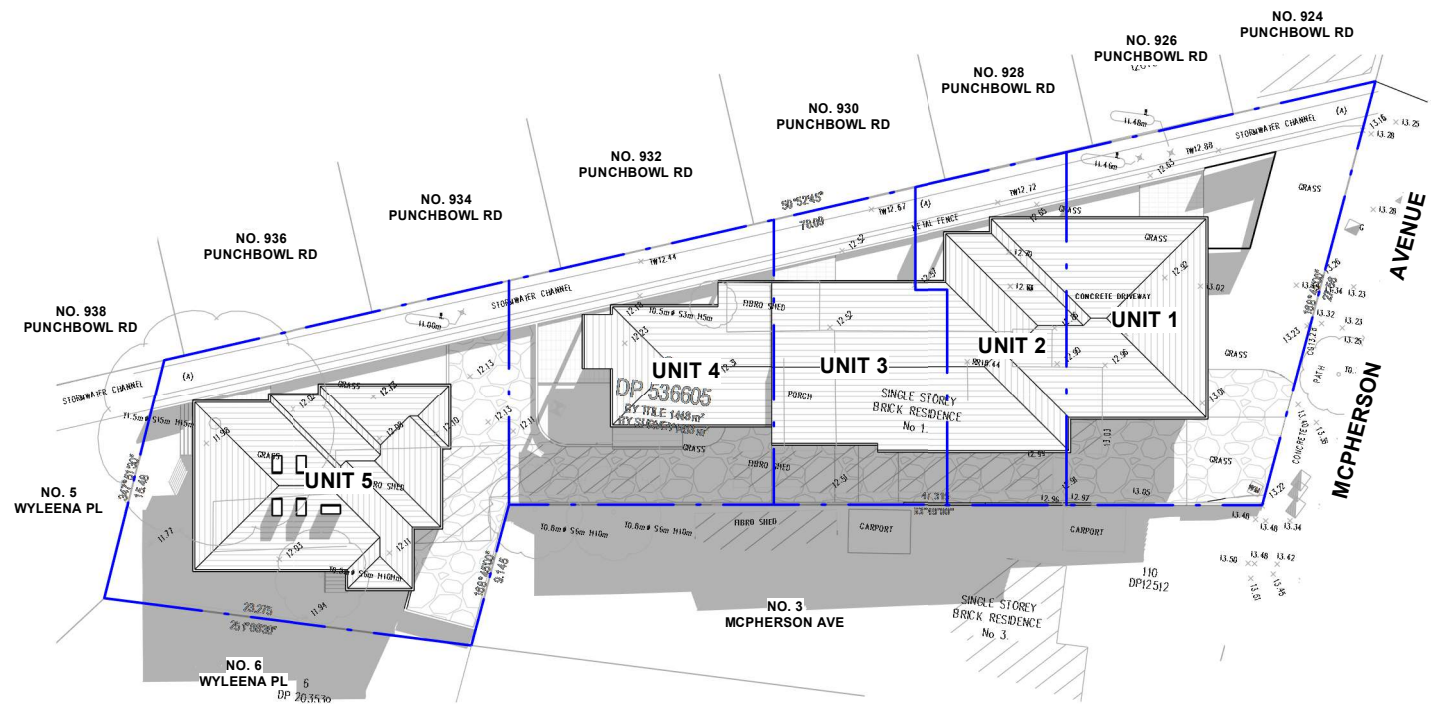
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DA ISSUE

RG24.17
drawing

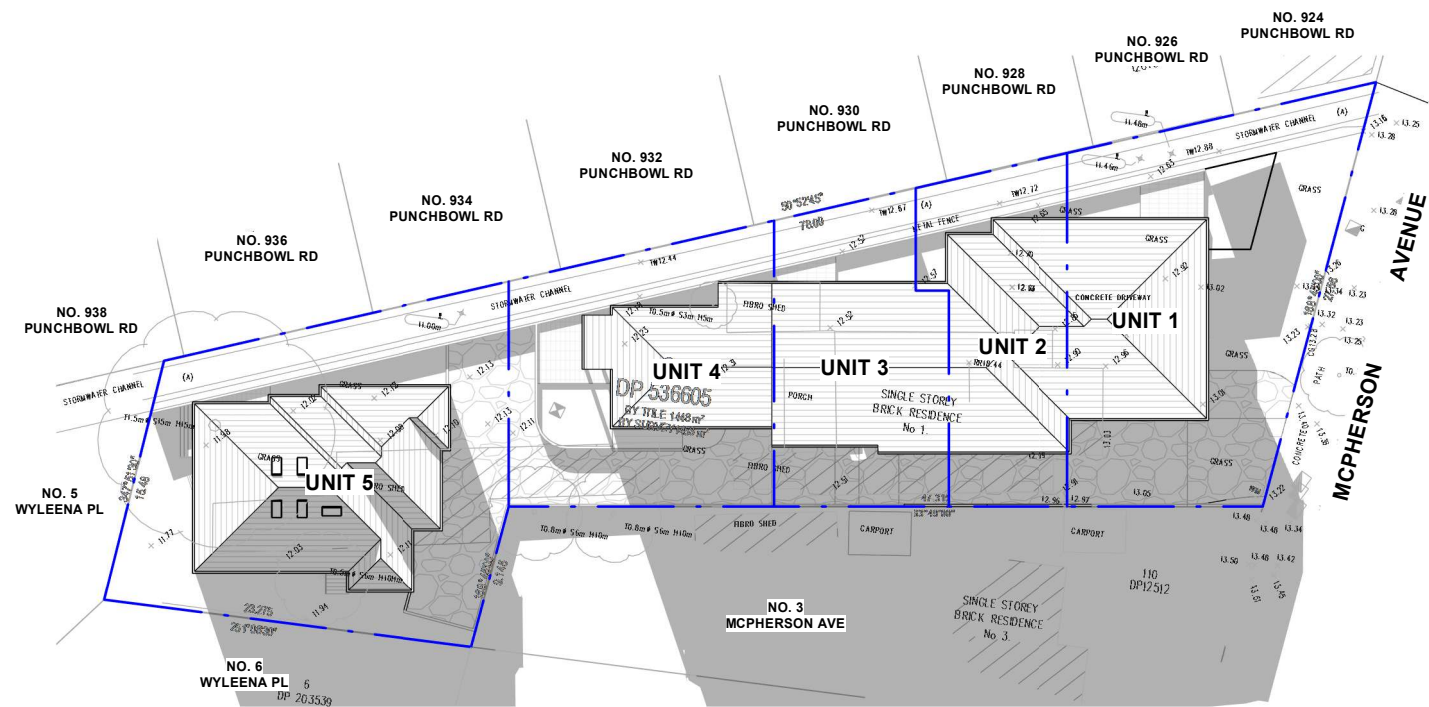
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A501



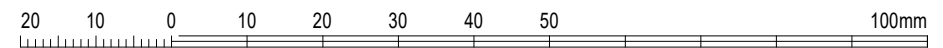
1 JUNE 21st 9am SHADOW DIAGRAM
NTS



2 JUNE 21st 12pm SHADOW DIAGRAM
NTS



3 JUNE 21st 3pm SHADOW DIAGRAM
NTS



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ISSUE	DATE	REVISION
D	05.07.24	DRAFT DA FOR REVIEW
C	04.07.24	DRAFT DA FOR REVIEW
B	20.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

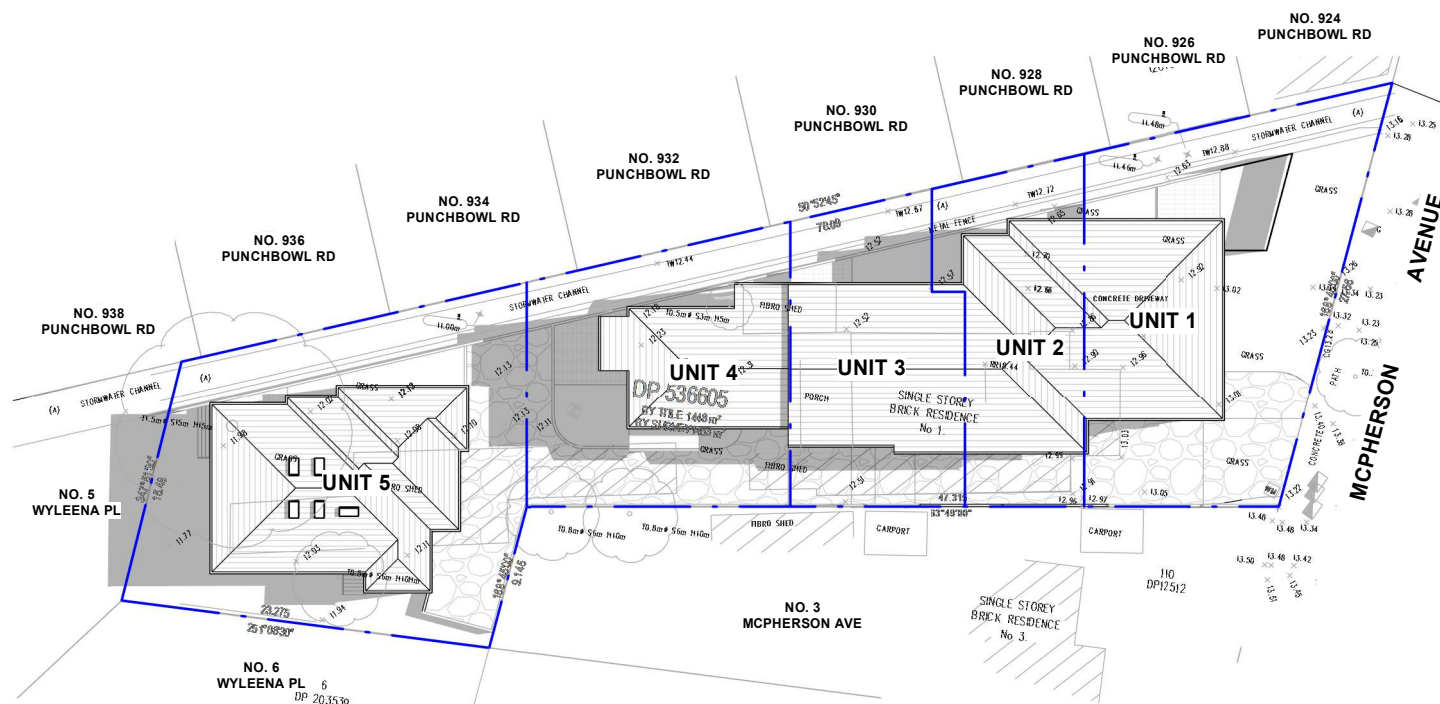
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**RESOLUT**
p: (02) 8003 5885
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client: BASSIM OMAR
project:
PROPOSED MULTI DWELLING
HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

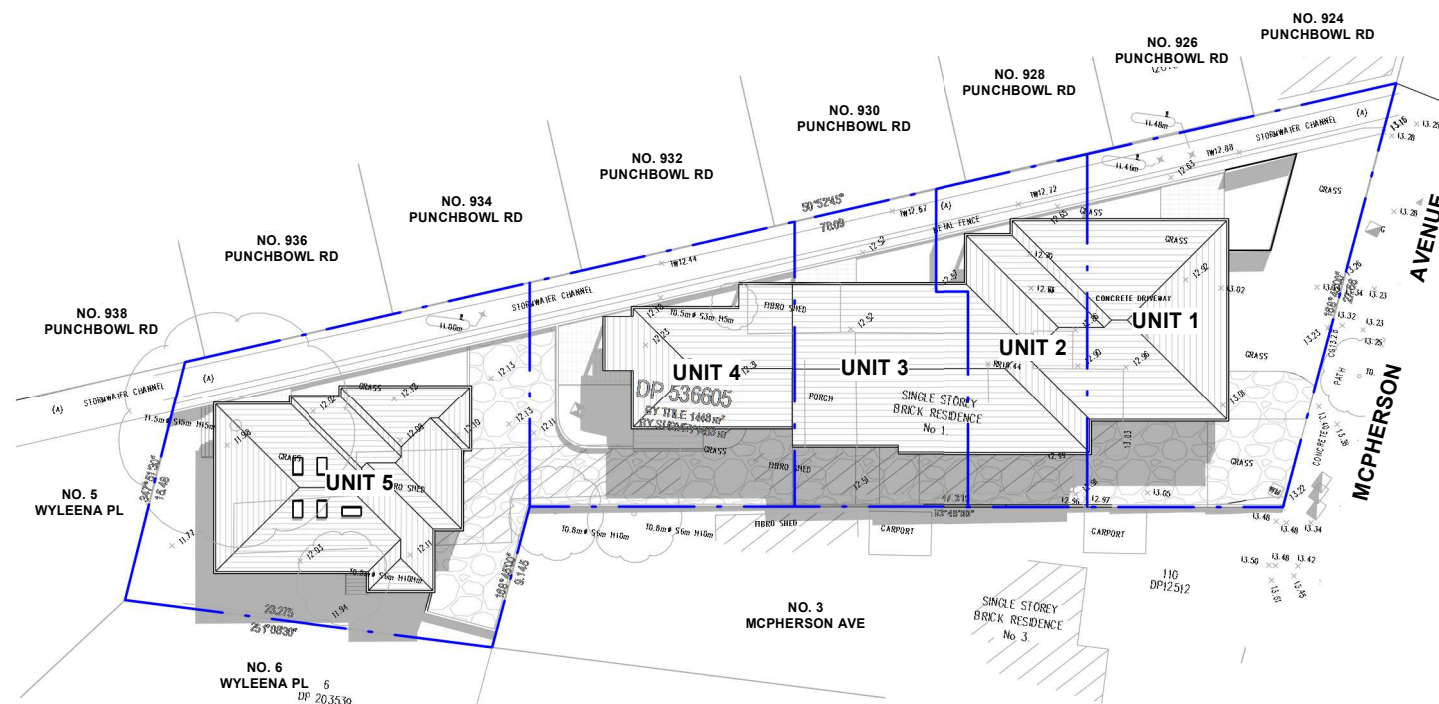
drawing title:
PROPOSED WINTER
SOLSTICE SHADOW
DIAGRAM

print date: 05.07.24
drawn: AD
checked: CH
scale: 1 : 475 @A3
DA ISSUE

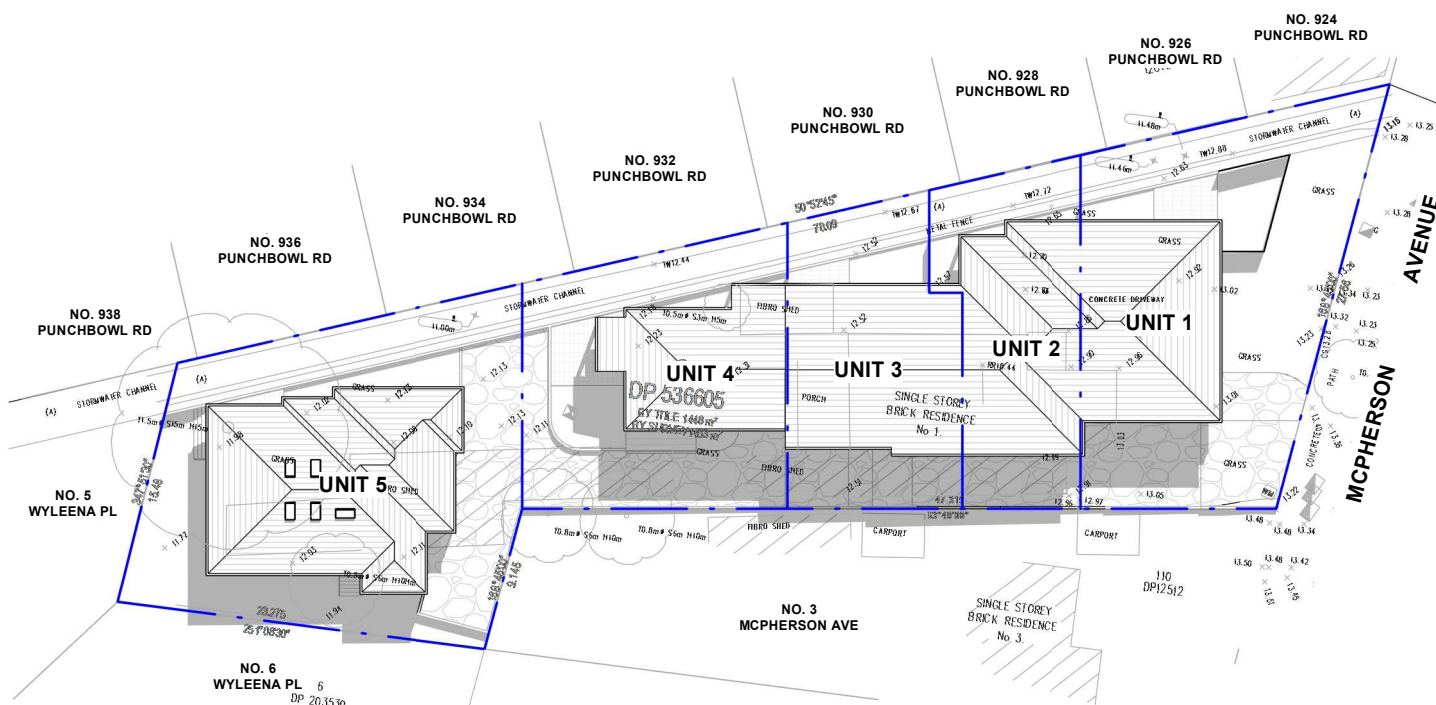
job
RG24.17
drawing
issue
D
A601



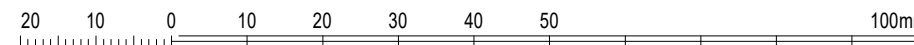
1 EQUINOX 9am SHADOW DIAGRAM
NTS



2 EQUINOX 12pm SHADOW DIAGRAM
NTS



3 EQUINOX 3pm SHADOW DIAGRAM
NTS

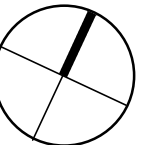


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ISSUE	DATE	REVISION
D	05.07.24	DRAFT DA FOR REVIEW
C	04.07.24	DRAFT DA FOR REVIEW
B	20.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

designed

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project: PROPOSED MULTI DWELLING HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing title: PROPOSED EQUINOX SHADOW DIAGRAM
print date: 05.07.24
drawn: AD
checked: CH
scale: 1 : 475 @A3
DA ISSUE
job
RG24.17
drawing
D
A602